



AGENDA

Raymore Planning and Zoning Commission Regular Meeting
City Hall – 100 Municipal Circle
Tuesday, March 3, 2026
6:00 PM

- 1. Call to Order**
- 2. Roll Call**
- 3. Pledge of Allegiance**
- 4. Personal Appearances**
- 5. Consent Agenda**
 - A. Approval of Minutes from the February 17, 2026 Meeting
- 6. Unfinished Business**
- 7. New Business**
 - A. 26002 38th Amendment to the Unified Development Code (public hearing)
- 8. City Council Report**
- 9. Staff Report**
- 10. Public Comment**
- 11. Commission Member Comment**
- 12. Adjournment**

MEETING PROCEDURES

Any person requiring special accommodation (i.e., qualified interpreter, large print, hearing assistance) in order to attend this meeting, please notify this office at (816) 331-3324 no later than forty eight (48) hours prior to the scheduled commencement of the meeting.

Hearing aids are available for this meeting for the hearing impaired. Inquire with the City Clerk, who sits immediately left of the podium as one faces the dais.

THE **PLANNING AND ZONING COMMISSION** OF THE CITY OF RAYMORE, MISSOURI, MET IN REGULAR SESSION **TUESDAY, FEBRUARY 17, 2026** IN THE COUNCIL ROOM AT RAYMORE CITY HALL, 100 MUNICIPAL CIRCLE, RAYMORE, MISSOURI WITH THE FOLLOWING COMMISSION MEMBERS PRESENT: MICHELLE PARKER, REGINALD TOWNSEND, MATTHEW WIGGINS, KELLY FIZER, ERIC SMITH, AND MARIO URQUILLA. ABSENT WAS LOREN SHANKS, MAYOR TURNBOW AND AARON HARRISON. ALSO PRESENT WAS SENIOR PLANNER DAVE MCCUMBER, CITY ATTORNEY JONATHAN ZERR, SENIOR ENGINEERING TECHNICIAN DEVON PERRY, AND ADMINISTRATIVE ASSISTANT EMILY JORDAN.

1. **Call to Order** – Chairman Wiggins called the meeting to order at 6:01 p.m.
2. **Pledge of Allegiance**
3. **Roll Call** – Roll was taken and Chairman Wiggins declared a quorum present to conduct business.
4. **Personal Appearances** - None
5. **Consent Agenda**
 - a. **Approval of Minutes from the January 20, 2026 meeting.**

Motion by Commissioner Urquilla, Seconded by Commissioner Fizer to minutes from the January 20, 2026 meeting.

Vote on Motion:

Commissioner Parker	Aye
Commissioner Shanks	Absent
Commissioner Townsend	Aye
Commissioner Harrison	Absent
Commissioner Fizer	Aye
Commissioner Smith	Aye
Commissioner Urquilla	Aye
Mayor Turnbow	Absent
Chairman Wiggins	Aye

Motion passed 6-0-0.

6. Unfinished Business - None

7. New Business -

a. Case #25043 - Prairie Acres Final Plat, Lot 1

City Planner Dave McCumber gave an overview of the case, including the staff report, existing and surrounding zonings, past planning actions, alignment with the Comprehensive Plan, Staff comments, and findings of fact. Mr. McCumber noted that the homeowner is looking to plat 5 +/- acres the property creating a lot, leaving the balance of land unplatted. The barns currently on the property are nonconforming due to their sideyard setbacks being less than the minimum 15 feet, however, they are not significant to the case. Staff recommends the Commission to accept the proposed findings of fact and forward the Case to the City Council with a recommendation of approval.

Motion by Commissioner Townsend, Seconded by Commissioner Smith to accept the Staff proposed Findings of Fact and forward Case #25043 - Prairie Acres Final Plat Lot 1 to the City Council with a recommendation of approval, subject to the conditions as outlined.

Vote on Motion:

Commissioner Parker	Aye
Commissioner Shanks	Absent
Commissioner Townsend	Aye
Commissioner Harrison	Absent
Commissioner Fizer	Aye
Commissioner Smith	Aye
Commissioner Urquilla	Aye
Mayor Turnbow	Absent
Chairman Wiggins	Aye

Motion passed 6-0-0.

b. Case #25044 - Prairie Acres Rezoning, "A" to "RE" (public hearing)

Public hearing opened at 6:06pm.

City Planner Dave McCumber gave an overview of the case, including the staff report, existing and surrounding zonings, past planning actions, alignment with the Comprehensive Plan, Staff comments, and findings of fact. Mr. McCumber noted that the future land use map designates the proposed 5 +/- acre lot as appropriate for low density residential, however, due to the built structures on the property, platting a lot of size to meet the UDC standards for a typical residential subdivision zoning district, i.e. "R-1", it would not be possible. Due to this, it is appropriate to consider other residential zoning districts, such as "RE", Rural Estate. In the future, the remaining 55 +/- unplatted acres would likely be recommended for a residential zoning district aligned with the low density land use designation, if a request to plat and rezone is made. Staff recommends the Commission accept the proposed findings of fact and forward the Case to the City Council with a recommendation of approval.

Public hearing closed at 6:09pm.

Motion by Commissioner Townsend, Seconded by Commissioner Urquilla to accept the Staff proposed Findings of Fact and forward Case #25044 - Prairie Acres Rezoning, "A" to "RE" to the City Council with a recommendation of approval, subject to the conditions as outlined.

Vote on Motion:

Commissioner Parker	Aye
Commissioner Shanks	Absent
Commissioner Townsend	Aye
Commissioner Harrison	Absent
Commissioner Fizer	Aye
Commissioner Smith	Aye

Commissioner Urquilla	Aye
Mayor Turnbow	Absent
Chairman Wiggins	Aye

Motion passed 6-0-0.

c. Case #25042 - Raymore Commerce Center Final Plat, Lot 2

City Planner Dave McCumber gave an overview of the case, including the staff report, existing and surrounding zonings, past planning actions, alignment with the Comprehensive Plan, Staff comments, and findings of fact. Mr. McCumber noted that the project includes one lot and one tract comprising 38 +/- acres. The request is in conformance with the preliminary plat. Staff recommends the Commission to accept the proposed findings of fact and forward the Case to the City Council with a recommendation of approval.

Motion by Commissioner Urquilla, Seconded by Commissioner Smith to accept the Staff proposed Findings of Fact and forward Case #25042, Raymore Commerce Center Final Plat Lot 2 to the City Council with a recommendation of approval, subject to the conditions as outlined.

Vote on Motion:

Commissioner Parker	Aye
Commissioner Shanks	Absent
Commissioner Townsend	Aye
Commissioner Harrison	Absent
Commissioner Fizer	Aye
Commissioner Smith	Aye
Commissioner Urquilla	Aye
Mayor Turnbow	Absent
Chairman Wiggins	Aye

Motion passed 6-0-0.

d. Case #25038 - Creekside Ranch Final Plat

City Planner Dave McCumber gave an overview of the case, including the staff report, existing and surrounding zonings, past planning actions, alignment with the Comprehensive Plan, Staff comments, and findings of fact. Mr. McCumber noted that the property was annexed into the City recently. The property is zoned "RE", rural estate, and includes 69.02 acres with 19 proposed lots. Staff recommends the Commission to accept the proposed findings of fact and forward the Case to the City Council with a recommendation of approval.

Motion by Commissioner Urquilla, Seconded by Commissioner Fizer to accept the Staff proposed Findings of Fact and forward Case #25038, Creekside Ranch Final Plat to the City Council with a recommendation of approval, subject to the conditions as outlined.

Vote on Motion:

Commissioner Parker	Aye
Commissioner Shanks	Absent
Commissioner Townsend	Aye
Commissioner Harrison	Absent
Commissioner Fizer	Aye
Commissioner Smith	Aye
Commissioner Urquilla	Aye
Mayor Turnbow	Absent
Chairman Wiggins	Aye

Motion passed 6-0-0.

8. City Council Report

City Attorney Jonathan Zerr provided an overview of recent City Council meetings since the Commission last met.

9. Staff Report

Mr. McCumber gave the staff report, including the Development Services monthly report, information on the City's current development projects and housing permit activity, and noted upcoming meetings and hearings.

10. Public Comment

There were no public comments.

11. Commission Member Comment

Commissioner Parker seconded Commissioner Townsend's sentiment.

Commissioner Townsend appreciates the detail Staff puts into their reports.

Chairman Wiggins also seconded Commissioner Townsend's sentiment.

Commissioner Fizer thanked Staff.

Commissioner Smith had no comment for the evening.

Commissioner Urquilla thanked Staff.

12. Adjournment

Motion by Commissioner Urquilla, Seconded by Commissioner Fizer, to adjourn the February 17, 2026 Planning and Zoning Commission meeting.

Rollcall Vote on Motion:

Commissioner Parker	Aye
Commissioner Shanks	Absent

Commissioner Townsend	Aye
Commissioner Harrison	Absent
Commissioner Fizer	Aye
Commissioner Smith	Aye
Commissioner Urquilla	Aye
Mayor Turnbow	Absent
Chairman Wiggins	Aye

Motion passed 6-0-0.

The February 17, 2026 meeting adjourned at 6:20pm.

Respectfully submitted,
Emily Jordan

38TH UNIFIED DEVELOPMENT CODE AMENDMENT

APPLICANT	REQUESTED ACTION
City of Raymore, MO	38th Amendment to the Unified Development Code (UDC), creating new standards for single and two-family subdivisions of ten (10) or more lots aimed at creating better diversity in architecture and form by discouraging monotony in residential subdivisions. The proposed action would amend sections 405.030(B)(1): Agriculture and Residential Districts, 415.040: Overlay & Special Purpose Districts, 420.010: Use-Specific Standards, Residential Uses, 430.060 & 430.130: Landscaping & Screening and 445.030: Subdivision Design and Layout.

GENERAL INFORMATION

ADVERTISEMENT	DATE
Planning and Zoning Commission	February 12, 2026 North Cass Herald Newspaper
City Council	February 27, 2026 North Cass Herald Newspaper

PUBLIC HEARING	DATE -
Planning and Zoning Commission	March 3, 2026 Planning and Zoning Meeting
City Council	March 23, 2026 City Council Meeting

TEXT AMENDMENT REQUIREMENTS -

Chapter 470: Development Review Procedures outlines the applicable requirements for amending the text of the Unified Development Code.

Section 470.020 (B) states: "...text amendments may be initiated by the City Council or the Planning and Zoning Commission".

Section 470.020 (F) requires that a public hearing be held by the Planning and Zoning Commission and the City Council.

Section 470.020 (G) (2) establishes the findings of fact that the Planning and Zoning Commission and City Council must take into consideration.

STAFF COMMENTS -

1. In February of 2025, the City Council held a worksession where staff presented ideas on how to address the concerns of the community regarding monotony in residential subdivisions. Staff was directed to continue researching the topic and to bring their findings back to the Council at a future worksession where the Kansas City Home Builders Association (HBA) would be invited to provide feedback.
2. Between March and September of 2025, staff met with the HBA, local and national commercial real estate lenders, an architecture, design and planning professional that does work locally and nationally, to better understand how communities across the country have addressed residential monotony and how new regulation can impact the private market.
3. A second worksession was held with the City Council in October of 2025. With representatives of the HBA present, staff presented proposed updates to the Unified Development Code (UDC), which were titled Anti-monotony Development Standards and focused on single and two-family residential subdivisions of ten (10) or more lots including new landscape standards. During the worksession, the City Council directed staff to schedule a meeting with the local builders that regularly work in Raymore to share the standards and gather feedback.
4. On November 5, 2025, an open house was held by city staff for the local building community to review the proposed changes to the UDC. Follow up surveys were sent out to allow attendees of the meeting to provide written comments.
5. Following the open house, staff met back with the City Council in November of 2025 during a worksession to share the feedback from the building community. Staff was directed to begin preparing a draft ordinance of the proposed UDC amendment to be heard by the Planning & Zoning Commission and City Council.
6. In January of 2026, the City Council held a joint worksession with the Planning & Zoning Commission where staff presented the draft standards and fielded questions from both bodies. Direction was given to look into how the landscaping standards could be modified to potentially lessen the minimum landscape point values for both single and two-family lots.

7. The proposed standards consist of three (3) separate design strategies and are summarized below:

- a. **Variation of Lot Widths** - Lots widths may only repeat for two consecutive lots before a minimum variation of five (5) feet shall occur. The variation of lot widths along a block face will provide a more diverse set of building envelopes, which can encourage a wider assortment in home types. Furthermore, the rhythm of the block can benefit from a wider range of spacings between buildings, as compared to many new subdivisions that create the same side yard dimensions on nearly every lot. The minimum lot width shall still meet the standards of the applicable zoning district.
- b. **Variation of Entry Features** - A minimum of three (3) entry features, porch, stoop or courtyard, shall be provided for the homes of the subdivision. No two (2) of the same entry feature shall be located next to or directly across the street from one another. However, changes in materials, projections or recessions from the primary facade may allow the same entry feature to repeat on adjacent lots. As an example, two projecting front porches can be on neighboring lots if the materials differ or if one is a projecting porch while the other is a recessed porch.
- c. **Landscape Standards** - Currently, the city's landscape standards require one (1) front yard tree for interior lots and two (2) for corner lots. While some subdivisions of the city can far exceed the minimum requirements, many are meeting the minimum. To lift the floor of what's required across the board, the new landscape standards take a different approach. A point value system has been developed to require each lot to meet a minimum of forty (40) points for single-family dwellings and forty-five (45) for two-family dwellings. The front yard tree is still a base requirement, however, builders will have to choose from an assortment of plant types, in the form of grasses, shrubs, evergreens, ornamental and shade trees, to collect enough points to meet the minimum required.

During the January 2026 joint worksession with the City Council and Planning & Zoning Commission, staff was asked to reexamine the minimum point values required for the single and two-family lots. Staff

reviewed the standards and after some discussion, made a modification to the point system by creating different values for shrubs or grasses depending on their size/maturity at the time of planting. Shrubs or grasses, which were originally valued at one (1) point each, are now based on their size. One (1) gallon plants are worth one (1) point while three (3) gallon plants are worth three (3) points. Staff believes the small modification will allow builders to meet the standards quicker by encouraging the installation of more mature plants, which better fill in landscape beds and increase their rate of survival.

FINDINGS OF FACT -

1. Whether such change is consistent with the intent and purpose of the Unified Development Code and plans adopted by the City of Raymore

The proposed text amendment is consistent with the intent and purpose of the Unified Development Code (UDC) and plans adopted by the City of Raymore. The proposed regulations are intended to create diversity in architecture and form by discouraging monotony in residential subdivisions.

2. Whether the proposed text amendment corrects an error or inconsistency in the code.

The amendment proposes changes to various sections of the UDC that set new standards for residential subdivision design. This is a change based out of the need to make improvements to the code and not due to an error or inconsistency.

3. The areas which are most likely to be directly affected by such change and in what way they will be affected.

New single and two-family subdivisions of ten (10) lots or more in residential zones, except "A" Agricultural, "RE" Rural Estate and "RR" Rural Residential Districts, shall comply with the proposed standards for lot widths and entry features. The landscape requirements apply to all zoning districts where single and two-family dwellings are permitted.

Developments subject to the proposed standards will be required to vary lots widths along the face of a block, provide multiple front entry (pedestrian entries) types throughout the subdivision and from lot to lot and meet new landscape standards.

4. Whether the proposed amendment is made necessary because of changed or changing conditions in the areas and/or zoning districts affected by it.

The proposed amendments are necessary due to changing conditions in the local and national housing markets.

5. Whether the proposed text amendment is in the best interests of the City as a whole.

In response to trends in the local and national housing markets, the proposed text amendments aims to encourage better architecture and lot diversity in new single and two-family residential subdivisions. Additionally, new landscaping standards will apply to all new single and two-family dwellings.

PROJECT REVIEW SCHEDULE

COUNCIL, COMMISSION OR BOARD	ACTION	DATE
Planning and Zoning Commission	Review/Hearing/Recommendation	March 03, 2026
City Council	Review/Hearing Approval or Denial	March 23, 2026 (1st Reading) April 13, 2026 (2nd Reading)

STAFF RECOMMENDATIONS -

Staff recommends a motion to accept the proposed findings of fact and to forward Case No. 26002 - 38th Amendment to the Unified Development Code to the City Council with a recommendation of approval.

PROJECT ATTACHMENTS -

1. Executive Summary
2. Draft Standards Detailed Summary (Non-code Format)
3. Draft Bill - Single and Two-Family Residential Design Standards (Code Format)

Single and Two-Family Residential Design Standards

Executive Summary

The Single and Two-Family Residential Design Standards are designed to create diversity in architecture and form by discouraging monotony in residential subdivisions. The standards ensure there is a variety in lot widths, unique front facades through assortments of entry features, and landscaping that accentuates building entries and corners with trees that provide a generous canopy.

Amendments to the following UDC Code Sections are required to accomplish the adoption of Single and Two-Family Residential Design Standards:

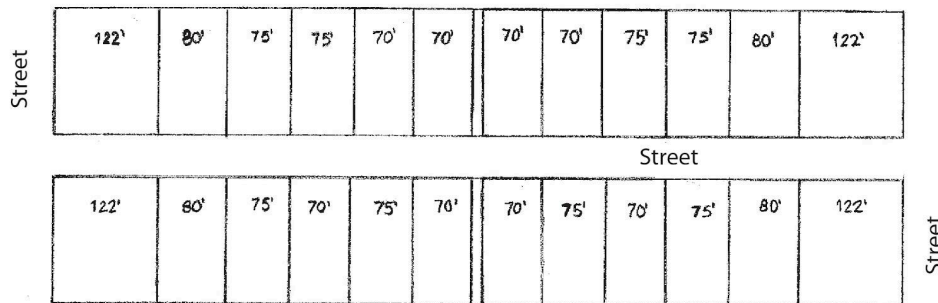
- **Section 405.030 B. 1.: Agriculture and Residential Districts** - Amending this section to allow front-yard encroachments of front entry features (Porches, Stoops and Courtyards). Currently, the code prohibits any portion of a structure from encroaching past the platted front build line. This allows better flexibility to accommodate the variety of new entry features. (See pages 1-4 of Bill)
- **Section 415.040: Overlay & Special Purpose Districts** - Minor changes to the "P" Planned District Overlay section related to facade elevations to reflect changes in the Single and Two-Family Residential Design Standards. The two sections, while independent from one another, will work in tandem to accomplish both the "P" Planned District and the Single and Two-Family Residential Design Standards. (See pages 4-8 of Bill)
- **Section 420.010: Use-Specific Standards, Residential Uses** - Establishes subsection (A.) identifying standards (Lot Width + Entry Feature) for single and two family developments when located within certain zoning districts. (See pages 8-21 of Bill)
- **Sections 430.060 & 430.130: Landscaping & Screening** - Establishes improved landscaping requirements for new single and two-family construction. (See pages 21-25 of Bill)
- **Section 445.030: Subdivision Design and Layout** - Adds subsection (C.) Single and Two-Family Residential Design Standards, detailing standards for single and two-family residential developments in specific zoning districts as it pertains to lot widths and front entry feature variation requirements. (See pages 25-46 of Bill)

City of Raymore, Missouri

Single & Two-Family Residential Design Standards

- A. **Purpose.** The following standards shall apply to all new detached single and two-family residential lots within any residential district, except A, RE and RR. To discourage monotony, there shall be diversity in lot widths, unique front facades through material and form, and landscaping that accentuates building entries and corners with trees that provide a generous canopy.
- B. **Applicability.** Subdivision plats/phases consisting of ten (10) or more lots shall be subject to these standards. The standards shall be considered a minimum, and additional requirements may apply as part of the rezoning or subdivision review process.
- C. **Lot Widths.** Lot widths throughout a subdivision shall vary and no more than two (2) of the same dimension shall be used next to each other. The variation in dimensions shall be no less than five (5)-ft. There shall be at least three (3) different lot widths fronting the street along the length of a block.

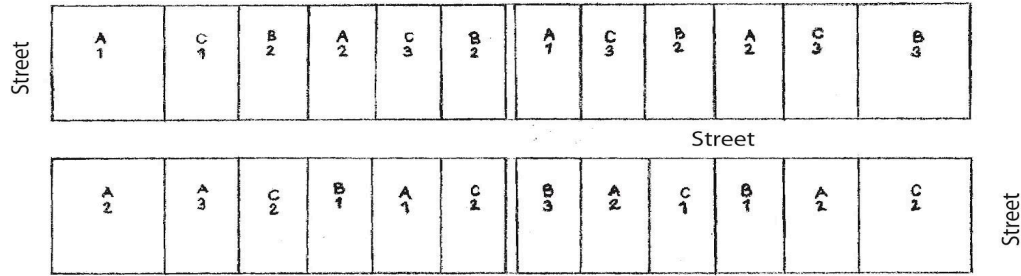
Basic Lot Width Layout Along a City Block



* The diagram shown above is for illustrative purposes only and not meant to be prescriptive.

- D. **Front Facades of Abutting Lots.** A minimum of three (3) entry features, as outlined in Subsection (E.), shall be provided for the homes of the subdivision. No two (2) of the same entry feature may be located next to or directly across from one another. An entry feature is considered the same when the type, projection or recession from the primary facade, and the facade materials used on the feature are alike or the same. As an example, two projecting front porches can be on neighboring lots if the materials differ.

Basic Front Facade Layout Along a City Block



* The diagram shown above is for illustrative purposes only and not meant to be prescriptive.

Entry Type	Materials
A - Covered Projecting Front Porch	1 - Brick Masonry
B - Covered Projecting Side Porch	2 - Stone Masonry
C - Uncovered Projecting Stoop	3 - Wood

* Additional materials other than what is listed above may be considered. The list is intended as an example.

Two-family Buildings. Both entrances may utilize the same entry feature on a singular building. The required entry feature shall vary from building to building.

E. **Entry Features.** An entry feature is designed to increase architectural variation along a block, provide an inviting usable outdoor space, highlight the home's entrance, and activate the streetscape. While each entry type shares these commonalities they also have distinct purposes.

a. **Entry Type**

i. **Front or Side Porches.**

Purpose. Comfortable, Inviting, Social

Form. All porches shall have a minimum depth of 8-ft and a width of 10-ft. The minimum dimension does not include steps or the landing leading to the porch. Covered porches should feature different roof designs, i.e. flat, shed, gable, hip, arched, no roof, etc. and locations on the facade i.e. center, left, right, wrapped, etc. Side porches can serve as part of the primary entrance to the home or as a more private space with limited access.

Detail. Ornamentation in the form of pediments, transom windows, enlarged trim, mouldings or corbels are required over the entry feature's pedestrian entrance or front door, if uncovered. Decorative railings or short walls up to 4-ft in height shall wrap at least 50% of the porch perimeter. (see graphic below)



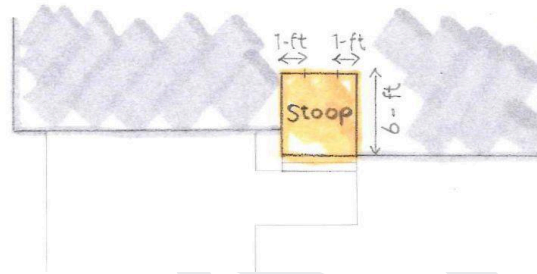
*Graphics are intended to convey form and may reflect dimensions beyond the minimum requirements.

ii. **Stoops.**

Purpose. Transitional, Practical, Approachable

Form. Stoops shall be at least 1-ft wider on either side of the front door and 6-ft in depth. The minimum dimension does not include steps leading to the stoop. Covered stoops should feature different roof designs, i.e. flat, shed, gable, hip, arched, no roof, etc.

Detail. When projecting, the perimeter of the stoop not along a building facade shall be established with decorative railings or short walls up to 4-ft in height. Ornamentation is required over the front entry feature's pedestrian entrance or front door, as listed in subsection (a.)(i.) of this section. (see graphic on next page)



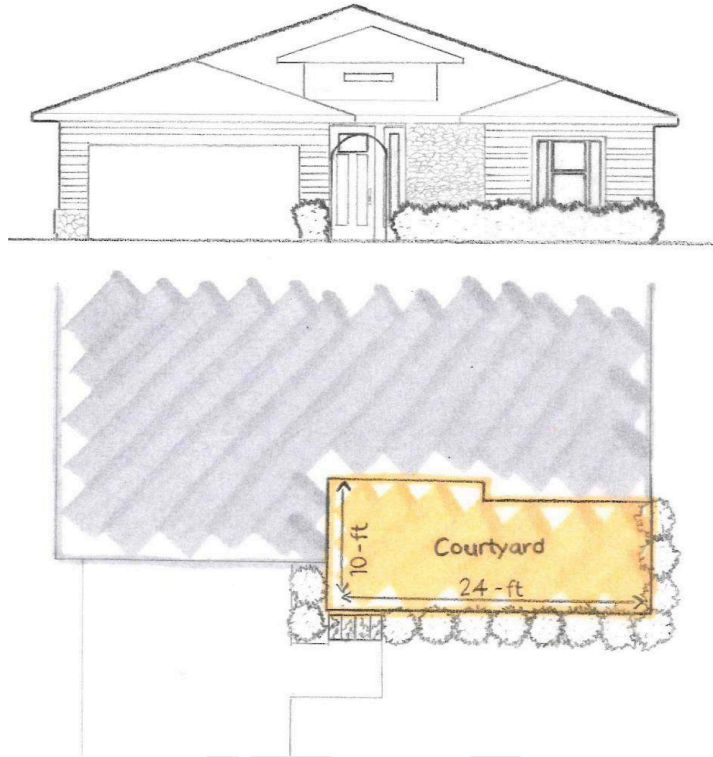
*Graphics are intended to convey form and may reflect dimensions beyond the minimum requirements.

iii. **Courtyards.**

Purpose. Welcoming, Elegant, Buffer

Form. Shall be designed within a recessed area of the front facade and be a minimum of 100 sq ft. Up to 50% of the courtyard may extend beyond the Primary Front Facade.

Detail. The perimeter of the courtyard not along a building facade shall be established with short walls or decorative fencing and or landscaping up to 4-ft in height. The courtyard shall either provide vertical landscaping no less than 6-ft in height, pillars, an arched trellis, or other ornamental features that define the pedestrian entrance into the courtyard. (see image on next page)



*Graphics are intended to convey form and may reflect dimensions beyond the minimum requirements.

F. Submittal Requirements.

The following items shall be submitted with any preliminary plat, final plat or building permit application.

Lot Diversity Table - Lists lot widths, average, and percentages of each across the plat/phase. The table shall be provided on the Preliminary and Final Plats.

Preliminary and final plats shall include the following note:

Single and Two-Family Residential Design Standards - The lots within this proposed subdivision plat shall meet the standards of Raymore's Unified Development Code Section [XXX.XXX](#) including lot widths, entry features and materials. Entry features and materials for each lot are to be reviewed with each building permit.

A front building elevation and plot plan shall be submitted with the building permit for each home and reviewed by the Planning Division of Development Services as part of the permit review process.

G. Definitions

Primary Front Facade	The facade which faces nearest the front property line.
Projection	Entry features that extend more than 50% past the Primary Front Facade towards the front property line.
Recession	Entry features that are positioned 50% or more behind the Primary Front Facade.

(Amendment to existing Section 430.060) - This section will include a handout version to be included with the approved building permit for each new single or two-family home.

Single and Two-Family Dwelling Lot Landscaping. All new single and two-family dwellings shall provide lot landscaping in the form of ornamental grasses, shrubs, evergreens, ornamental and shade trees, each having their own point value.

Single-Family Lots - Minimum of 40 points
Two-Family Lot - Minimum of 45 points

1-Gal. Grass or Shrub = 1 Point
3-Gal Grass or Shrub = 3 Points
4' Evergreen = 4 Points
6' Evergreen = 6 Points
Ornamental Tree = 8 Points
Shade Tree = 10 Points Max. Per Lot

Required Street Frontage Shade Tree(s)

Each Lot is required to have one (1) shade tree per street frontage per dwelling. Lots with frontage of 100-ft in width or more shall provide one (1) per fifty (50) feet of street frontage. The tree(s) shall be planted in the front yard(s) and within fifteen (15) feet of the front property line. The street frontage shade tree(s) do not count towards the point totals for either the single or two-family requirement.

Lots along right-of-ways with street trees shall provide one (1) ornamental tree in the adjacent front yard(s) at no value towards the overall points required.

Cul-de-sac Lots

Street frontage shade trees for lots on the bulb of a cul-de-sac shall only be required on every other lot. Those lots without a required street frontage shade tree shall provide an ornamental tree in the front yard area and said tree will count towards the overall required points.

General Shade Tree(s)

Only one (1) shade tree, worth ten (10) points, counts towards the minimum points required.

Front Facades/Entrances

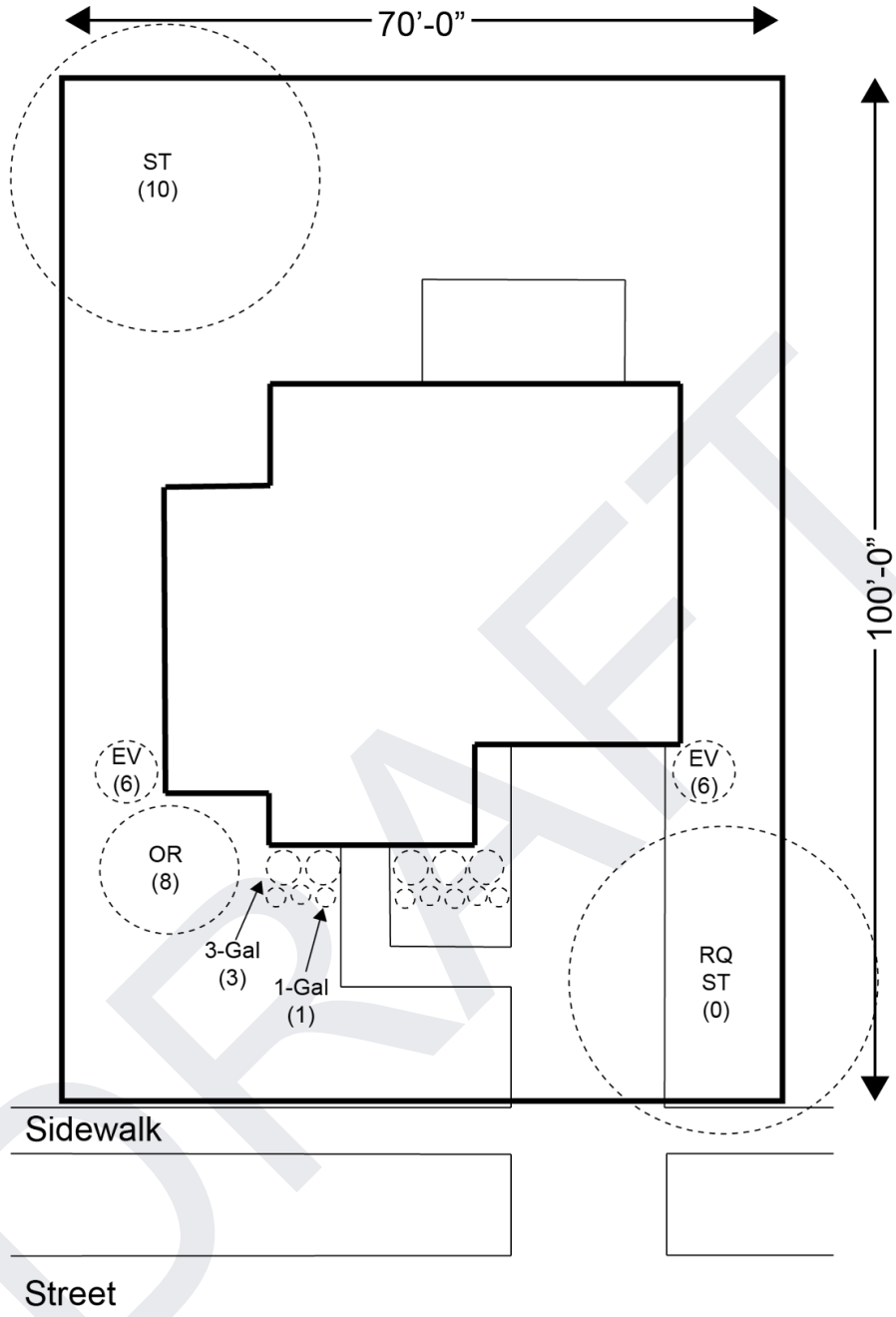
Clustering of landscape materials, at minimum, shall be installed around the dwelling's pedestrian entrance and on the building's corners.

Two-Family Dwellings

Two-Family Dwellings shall provide a general balance of landscaping across both sides of the lot.

Inspections

As part of the final inspection process, the Development Services Department shall be contacted to schedule a landscape inspection. Landscape inspections will be conducted by the Planning Division prior to the issuance of a Certificate of Occupancy. If necessary due to forces of nature, a Temporary Certificate of Occupancy may be issued with a defined expiration date.



Example Layout	
1 X ST - Shade Tree	10 PTS. <i>Max. Per. Lot</i>
1 X RQST - Required Shade Tree	0 PTS.
1 X OR - Ornamental Tree	8 PTS.
2 X EV - 6-ft Evergreen	12 PTS.
5 X S/G - 3-Gal Shrub	15 PTS.
8 X S/G - 1-Gal Grass	8 PTS.
<hr/>	
SF Min. Req.	40 PTS.
Total	53 PTS.

Existing Shade Tree Preservation

Shade Trees that are deemed to be in good health and have been trimmed or pruned may count towards the point requirements of this section. No more than one (1) existing shade tree may be awarded points. The Development Services Director determines if a tree on a lot is eligible for points, including the amount.

A minimum of 15-ft in height = 20 PTS

DRAFT

BILL _____

ORDINANCE

“AN ORDINANCE OF THE CITY OF RAYMORE, MISSOURI, APPROVING THE 38TH AMENDMENT TO THE UNIFIED DEVELOPMENT CODE, ESTABLISHING SINGLE AND TWO-FAMILY RESIDENTIAL DESIGN STANDARDS FOR NEW SINGLE AND TWO-FAMILY RESIDENTIAL DEVELOPMENTS.”

WHEREAS, the City Council of the City of Raymore, Missouri adopted the Unified Development Code as Ordinance 28117 on December 8, 2008; and,

WHEREAS, the City of Raymore has adopted a Comprehensive Plan that establishes goals and strategies of promoting high-quality neighborhoods, long-term property values, and attractive residential environments for residents; and,

WHEREAS, the adoption of single and two-family residential design standards will help ensure new residential development contributes positively to the City’s established and emerging neighborhoods through required variations in lots sizes, housing entry features, and enhanced landscaping requirements; and,

WHEREAS, the Planning and Zoning Commission held a public hearing on the proposed 38th amendment to the Unified Development Code on _____ 2026 and is forwarding the amendment to the Council with a recommendation of _____; and,

WHEREAS, the Council held a public hearing on the proposed 38th amendment to the Unified Development Code on _____ 2026, and accepted the recommendation of the Planning and Zoning Commission.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF RAYMORE, MISSOURI, AS FOLLOWS:

Section 1. Section 405.030(B)1 Bulk and Dimensional Standards of the Unified Development Code is hereby repealed in its entirety and re-enacted as follows:

1. Projections into Required Yards. Required yards must be unobstructed and unoccupied from the ground to the sky except that certain building features and structures are allowed to project into required yards to the extent expressly indicated in the following table: **[Amendment 8 – Ordinance 2011-9, 2-28-2011]**

Obstruction/Projection into Required Yards	Front	Side	Rear
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Accessory detached garages, and carports, set back at least five (5) feet from side and rear property lines and subject to the requirements of Section 420.050	No	Yes	Yes
Air conditioning and other mechanical units projecting a distance of not more than five (5) feet	Yes	Yes	Yes
Arbors, trellises, pergolas and similar customary landscape and yard improvements, set back at least five (5) feet from any side or rear property line	No	Yes	Yes
Awnings and canopies projecting a distance of no more than thirty percent (30%) of the required yard dimension	Yes	Yes	Yes
Balconies projecting a distance of not more than thirty percent (30%) of the required yard dimension	No	Yes	Yes
Bay windows and dormers projecting a distance of not more than thirty percent (30%) of the required yard dimension	Yes	Yes	Yes
Breezeways	No	Yes	Yes
Chimneys projecting a distance of not more than thirty percent (30%) of the required yard dimension	Yes	Yes	Yes
Eaves and gutters projecting a distance of not more than thirty percent (30%) of the required yard dimension	Yes	Yes	Yes
Fences and walls, subject to Section 440.030	Yes	Yes	Yes
Flagpoles	Yes	Yes	Yes
Gazebos, setback at least five (5) feet from any side or rear property line	No	Yes	Yes
Laundry drying equipment	No	No	Yes
Ornamental and security lighting	Yes	Yes	Yes
Parking spaces, unenclosed	Yes	Yes	Yes
Patios and terraces, setback at least five (5) feet from any property line	Yes	Yes	Yes

Porches, stoops or structural features of a courtyard, shall not project closer than fifteen (15) feet from the front property line and shall be set back at least five (5) feet from side and rear property lines.	Yes	Yes	Yes
Decks less than thirty (30) inches above grade, open on at least three (3) sides, with no roof or cover, projecting a distance of not more than thirty percent (30%) of the required front yard dimension and set back at least five (5) feet from side and rear property lines.	Yes	Yes	Yes
Porches and decks less than thirty (30) inches above grade, open on at least three (3) sides, with no roof or cover, projecting a distance of not more than thirty percent (30%) of the required front yard dimension and set back at least five (5) feet from side and rear property lines.	Yes	Yes	Yes
Porches and d Decks greater than thirty (30) inches above grade, open on at least three (3) sides, with no roof or cover, projecting a distance of not more than thirty percent (30%) of the required yard dimension.	No	Yes	Yes
Recreation equipment including playground equipment, play houses, and sandboxes, setback at least five (5) feet from any side or rear property line	No	Yes	Yes
Satellite dish antennas, not exceeding 1 meter in diameter	Yes	Yes	Yes
Satellite dish antennas, over 1 meter but not exceeding 2.4 meters in diameter	No	No	Yes
Sheds or other accessory storage structures, setback at least five (5) feet from side and rear property lines	No	Yes	Yes
Sills, belt courses, cornices, buttresses and other architectural features projecting a distance of not more than thirty percent (30%) of the required yard dimension	Yes	Yes	Yes

Swimming pools and bathhouses, setback at least five (5) feet from side or rear property line, subject to Section 420.050B	No	Yes	Yes
Steps, stairs, stoops, landings and fire escapes (uncovered), projecting a distance of not more than thirty percent (30%) of the required yard dimension	Yes	Yes	Yes
Amateur radio antenna towers,	No	Yes	Yes
Utility poles and wires	Yes	Yes	Yes
Wheelchair lifts and ramps that meet federal, state and local accessibility standards	Yes	Yes	Yes

Section 2. Section 415.040 Planned District Overlay of the Unified Development Code is hereby repealed in its entirety and re-enacted as follows:

415.040. P, Planned District Overlay.

A. General Purpose and Description.

1. The purpose of the P, Planned District is as an overlay district that will provide latitude and flexibility in the location of buildings, structures, open spaces, play areas and roads. The Planning and Zoning Commission and City Council will use the requirements and standards for the base zoning district as a guide in approving a "P" district and may permit deviations from these requirements where it is deemed that amenities or conditions in accordance with this section will be gained to the extent that a higher quality development is produced.
2. All R, C, BP and M districts may be designated as "planned districts,"(e.g. "RE-P or "M1-P"), as applicable, under this section. Upon approval, a planned district designation functions as an overlay zone in which standards and requirements specifically approved for the "planned district" rezoning and applicable approved site plan govern over conflicting requirements and standards of the base zoning district. Otherwise, requirements of the base zoning district remain in force.

B. Review Procedure. The procedure for review of applications for designation of a planned district will be the same as for amendments to the Unified Development Code as set forth in Section 470.020. Applications for C, BP and M planned districts must also be accompanied by a conceptual site plan.

- C. Permitted Uses. Uses allowed in a planned district are those permitted in the applicable base zoning district.
- D. Dimensional Standards. Dimensional standards will be the same as those for the base zoning districts unless deviations are granted pursuant to this section.
- E. District-Specific Design Standards.
 - 1. In exchange for the flexibility provided under planned district zoning, applicants are required to provide high-quality design elements and amenities. Each residential and nonresidential development must provide amenities in accordance with the following menu:

Menu of Planned District Design Elements and Amenities	
Housing Diversity.	
Developments that include a residential component shall meet the standards of Section 445.030(C) Single and Two-Family Residential Design Standards and must provide ALL of the following:	
Multiple Front Elevations	At least one (1) distinct front building elevation per ten (10) dwelling units for each housing type (detached single family, attached single family, two family, and/or multi family dwellings). The required number of distinct front elevations shall be rounded up to the nearest whole number (e.g. developments with 21-29 dwelling units must offer a minimum of three (3) different front elevations). The maximum number of required front elevations for each housing type within a development need not exceed six (6).
Variety in Building Materials	More than one (1) exterior building material must be offered for at least one (1) housing model for single and two-family homes (e.g. vinyl siding, brick, stone, stucco, etc.)

<p>Variety in Garage Design</p>	<p>Where more than one (1) front elevation is required for developments that include detached single-family, attached single-family, and/or two-family dwelling units, a minimum of one (1) floor plan designed with at least one of the following garage designs:</p> <ul style="list-style-type: none"> • Recessed, front-loaded (a minimum eight-foot setback from front façade) • Rear-loaded • Side-loaded, or • Detached garages
<p>Residential Amenities. Developments that include a residential component must provide at least one (1) amenity from each group installed at the same time as the public improvements:</p>	
<p>Group 1 Active Recreation Amenities</p>	<p>Golf course</p> <p>Athletic fields, basketball court or tennis courts</p> <p>Swimming pool that is at least one thousand (1,000) square feet in surface area</p> <p>Club house or community building that includes exercise rooms, meeting rooms, and/or sheltered picnic facilities</p>
<p>Group 2 Passive Recreation Amenities</p>	<p>Playground/tot lot</p> <p>Historically significant buildings, structures or other historic resource</p> <p>Bike or pedestrian pathways in addition to required public sidewalks and bike paths, in compliance with the City’s Transportation Plan and Park Master Plan. Credit will be given for trails required by the Growth Management Plan.</p> <p>Nature trails, boardwalks or piers that provide access to preserved natural areas and features or historically</p>

	significant resources
	Gazebo
Group 3 Natural Features and Open Space Amenities	<p>Preservation of natural features that exceed the size of those that would be required to be preserved by other local, County, State or Federal ordinances or requirements, by at least twenty-five percent (25%). Examples include wetlands, floodplains, stream corridors, steep slopes, grasslands and woodlands</p> <p>Open space in excess of one (1) acre in area that preserves native plant communities or wildlife habitat</p> <p>Natural stormwater detention design that utilizes native plant materials</p> <p>Widened landscape buffer widths of at least thirty (30) feet and a minimum of fifty percent (50%) increase in plant materials required by Section 445.030K.4</p> <p>Public art such as sculptures located within common open space</p> <p>Street trees</p>
Nonresidential Amenities.	
Developments that include a nonresidential component must provide at least three (3) of the following amenities:	
Public Enhancements and Streetscape Features	<p>Public plaza that includes seating areas and is at least three thousand (3,000) square feet in area</p> <p>Public art such as sculptures or fountains</p> <p>Clock tower</p> <p>Bike pathways in addition to required public sidewalks and bike paths in compliance with the City's Transportation Plan and Park Master Plan</p>

	Bike parking facilities
	Ornamental parking lot lighting
	Decorative pavers for pedestrian crosswalks

Section 3. Section 420.010 Use-Specific Standards, Residential Uses of the Unified Development Code is hereby repealed in its entirety and re-enacted as follows:

420.010. Use-Specific Standards, Residential Uses.

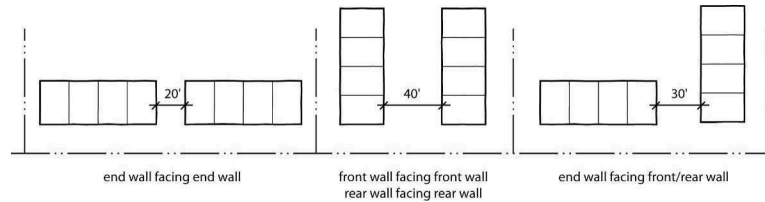
A. Detached Single and Two-Family Dwellings.

1. All dwellings in zoning districts, except A, RE and RR shall meet the standards of 445.030(C) Single and Two-Family Residential Design Standards.

B. Single-Family Attached and Multiple-Family Dwellings.

1. Number of Buildings per Lot. Multiple buildings containing attached single-family and multiple-family dwellings are permitted on a single zoning lot.
2. Number of Units per Building.
 - a. No more than eight (8) attached single-family dwelling units are permitted within a single building.
 - b. There is no limit on the number of multiple-family dwellings permitted within a single building.
3. Minimum Separation Between Buildings. Single-family attached and multiple-family buildings situated around a courtyard will have the following minimum distance requirements as measured between exterior walls:
 - a. Back to back, forty (40) feet;
 - b. Front to front, forty (40) feet;
 - c. End to end, twenty (20) feet;
 - d. End to back, thirty (30) feet;
 - e. End to front, thirty (30) feet;
 - f. No dwelling unit will face directly upon the rear of a building; and

- g. Service areas and vestibules, porches, balconies and canopies not extending more than ten (10) feet from the building, will be excluded from the distance requirements of this section.



- 4. Building Design. Attached single-family and multiple-family dwellings must:
 - [Amendment 33 - Ordinance 2020-068, 11-23-2020]**
 - a. Be designed with windows and/or doors on all building facades that face a street to avoid the appearance of blank walls; and
 - b. Be designed with garage doors or carports facing an alley, where there is an alley serving the site, or facing an interior driveway, whenever possible. Where attached garages face a public street, they may not extend more than five (5) feet beyond the street-facing façade.
 - c. Any portion of the building that is within one hundred (100) feet of a less intense zoning district may not exceed one hundred twenty-five percent (125%) of the maximum height permitted in the less-intense zoning district.
 - d. Four-sided design, including entryways, windows and consistent materials along with architectural details shall be utilized on all elevations to add diversity and visual character to the building(s).
 - e. Front entrance features shall include pedestrian-scale design elements. This includes: side lights or transom windows, architectural ornamentation or single-story roofs or canopies that are then integral to the overall architectural design of the building.
 - f. Variety in exterior materials is encouraged. Composition of entirely one (1) material is prohibited. A brick, stone or similar material base is required up to at least three (3) feet of the front building facade.
 - g. Prohibited building materials include:
 - (1) Plywood sheathing, including oriented strand board (OSB)

and CDX plywood [fiber cement siding, T1-11 plywood, LP Smartsiding, and similar materials are allowed].

- (2) Painted CMU.
 - (3) Corrugated metal.
 - (4) Painted metal.
 - (5) Wood shake roofing material.
 - (6) Plastic awning material.
- h. Roof mounted equipment, including ventilators and satellite dishes, shall be completely screened from view using parapet walls at the same height as the equipment. Screening shall be of the same materials and design as the larger building to maintain a unified appearance.
5. Private Yards for Attached Single-Family Dwellings. All attached single-family dwelling unit developments must include private yards space in accordance with the following:
- a. Attached single-family dwellings must have private yards consisting of a minimum of two hundred (200) square feet in area for each attached single-family dwelling unit;
 - b. A private yard may be located next to a front wall, rear wall or end wall, provided that it is immediately adjacent to the attached single-family dwelling unit it serves and is directly accessible from the unit by way of a door or steps;
 - c. Required private yards must be landscaped with turf, groundcover, shrubs, trees or other landscape improvements, such as walkways or patios; and
 - d. Private yards may be enclosed with fences.
6. Common Open Space for Multiple-Family Dwellings. In addition to the minimum lot area required per dwelling unit in the district, all multiple-family dwelling unit developments must include common open space in accordance with the following:
- a. A minimum of one hundred fifty (150) square feet of common open space must be provided per dwelling unit;
 - b. Common open space must be accessible to all dwelling units and improved with landscaping, recreational facilities, and/or pedestrian walkways; and
 - c. Common open space must be maintained by the property owners association.

C. Cluster Residential Developments.

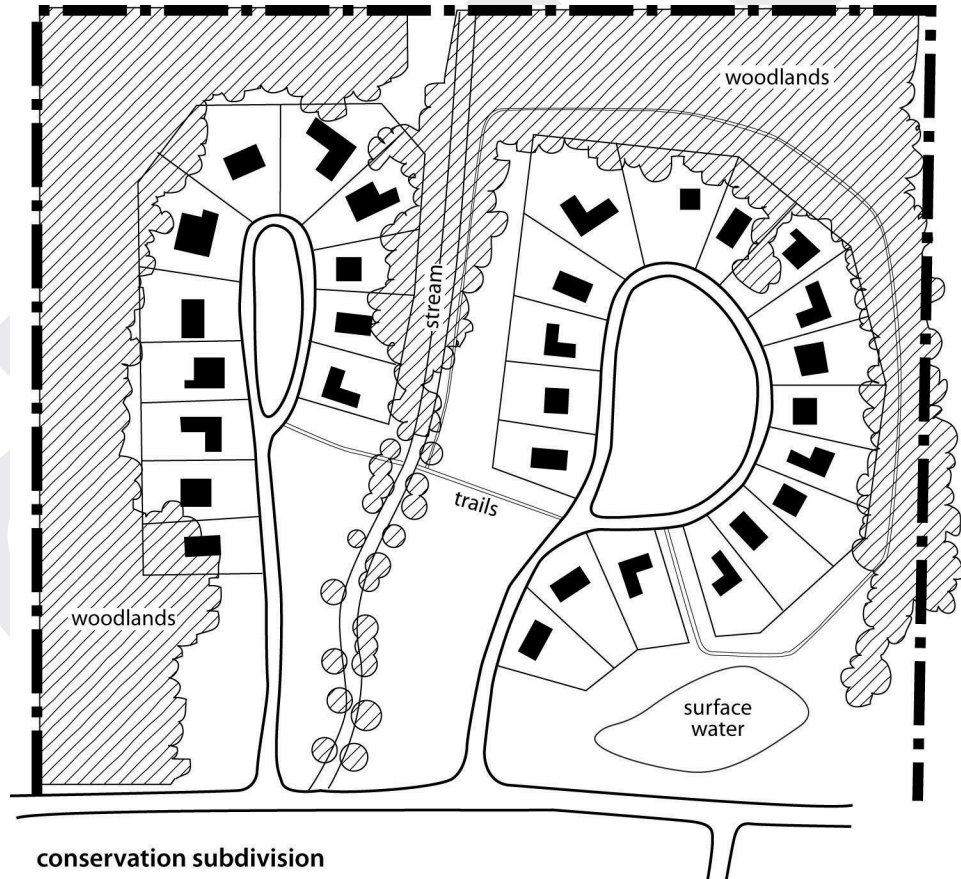
1. Description.
 - a. The purpose of this section is to encourage subdivision design that is more efficient and provides more open space and greater natural resource protection than conventional subdivision designs. Cluster residential developments allow more compact and less costly road networks and utilities, and can also be used to preserve an area's semi-rural character.
 - b. The standards of this section require that a specified portion of each cluster residential development be set aside and permanently reserved as open space. The required open space may be used to provide recreational opportunities for the development's residents and/or to protect significant natural resources on the site.
2. Bulk and Dimensional Standards.
 - a. Cluster residential developments are expressly exempt from the lot area, lot width, building coverage and yard requirements of this code. Lots must be of size and shape to allow for compliance with applicable building codes and to provide for a high-quality living environment for subdivision residents. Lots abutting or within one hundred fifty (150) feet of an existing or approved subdivision may be no smaller than eighty percent (80%) of the average lot size within the adjacent subdivision.
 - b. Cluster residential developments must comply with all other bulk and dimensional standards of Section 405.030.
 - c. A minimum twenty-five-foot yard must be provided adjacent to all rights-of-way and the boundary of the development.
 - d. All buildings within a cluster residential development must be separated by a minimum of fifteen (15) feet, except that single-family attached and multiple-family buildings must be separated according to the requirements of Section 420.010A.3.
3. Minimum Site Area. All cluster residential developments must contain a minimum of two (2) acres of land.
4. Maximum Density/Minimum Lot Area.
 - a. The maximum number of dwelling units allowed within a cluster residential development is computed by dividing the overall area of the site by the applicable minimum lot area per dwelling unit standard of Section 405.030 (Bulk and Dimensional Standards).
 - b. Individual lots in a cluster residential development are not

required to comply with the minimum lot area standards of Section 405.030.

- c. If the cluster residential development is located in more than one (1) district, the maximum number of dwelling units must be calculated separately for each portion of the site lying within a different district.

5. General Design Principles.

- a. Cluster residential developments are subject to all other subdivision design and improvement standards of this subdivision ordinance unless otherwise expressly stated.
- b. Lots and development sites within cluster residential developments must, to the maximum extent practical, be located outside of areas containing woodlands, grasslands, surface waters, steep slopes, drainageways, rock outcroppings and other natural resource features.



6. Open Space.

- a. Amount Required. All cluster residential developments must dedicate a minimum of thirty percent (30%) of the overall site

area as permanent, active or passive open space.

b. Use, Location and Design.

(1) Open space must be dedicated or reserved for one (1) or more of the following uses:

(a) Conservation of, and avoidance of development in, any areas that potentially pose a significant hazard to people or property such as drainageways, wetlands and lands whose soils or slopes make them particularly unsuitable for development or susceptible to erosion;

(b) Conservation and protection of any identified significant natural areas, including streams, rare plant communities, wildlife habitats, or other environmentally sensitive areas where development might threaten water quality or ecosystems; and

(c) Provision of active and/or passive outdoor recreation opportunities, either for the general public or for the development's residents or employees and their guests (this requirement is not intended to preclude a membership requirement or fee for use of recreation facilities such as golf, swim, or tennis clubs, as long as residents have an opportunity to join the club or pay to use club facilities).

(2) Highest priority for the location, design and use of open space must be given to conserving and avoiding development in any natural hazard areas or significant natural areas on the site.

(3) Open space may contain active recreation areas and only those buildings, structures, accessways and parking facilities that are necessary and accessory to its principal uses (e.g., parking lots, pedestrian paths, utility lines, driveways, and club houses). All such structures and surfaces must be designed to protect and enhance the natural character and function of the open space. All active recreation areas must comply with the following:

(a) Development of the area must include a tree and native vegetation preservation plan that protects mature vegetation areas and limits disturbance to the minimum required for construction;

(b) Landscaping must comply with the planting list; and

(c) The location, size, character and shape of required open space must be located on portions of the site that are

most appropriate for the intended use (e.g., open space proposed for ball fields must be located on land that is relatively flat, dry, and can be accessed conveniently and safely by intended users).

c. Boundary Markers.

(1) Boundary markers must be put in place clearly marking required open space areas before, during and after construction.

(2) Boundary markers must be installed at the intersection of private lot lines with the outer edge of the permanent open space area before receiving final City approval of plans for clearing, grading, or sediment and erosion control.

(3) Construction fencing must be placed at the outer edge of the existing vegetation to be preserved in the permanent open space area. This fencing must be maintained throughout the construction process.

(4) Permanent signs reading "Permanent Open Space Set-Aside—Do Not Disturb" must be placed at the edge of the permanent open space as follows:

(a) For single-lot developments, signs must be posted every one hundred (100) feet along the open space boundary.

(b) For multiple lots located along an open space set-aside, signs must be located at the intersection of every other lot line along the open space.

d. Construction in Phases. A description of planned development phases must be included in the application for, and made a part of the approval of the final plat for the cluster housing development. Each scheduled phase of development must include a proportion of required common open space based on the proportion of dwelling units that are being constructed in each phase.

7. Ownership and Maintenance of Open Space.

a. The applicant must identify the owner of the open space. The designated owner and the owner's successors are responsible for maintaining the open space and any associated facilities. If a property owners association is the owner, membership in the association is mandatory and automatic for all property owners of the subdivision and their successors. If a property owners association is the owner, the property owners association must have lien authority to ensure collection of dues from all members.

- b. The applicant must submit a management plan for the open space and all common areas. The management plan must:
 - (1) Allocate responsibility and guidelines for the maintenance and operation of the open space and any associated facilities, including provisions for ongoing maintenance and for long-term capital improvements;
 - (2) Estimate the costs and staffing requirements needed for maintenance, operation and insurance and outline the means by which necessary funding will be obtained or provided;
 - (3) Provide that any changes to the management plan be approved by the development review committee; and
 - (4) Provide for enforcement of the management plan.
 - c. In the event the party responsible for maintenance of the open space fails to maintain all or any portion in reasonable order and condition, the City may assume responsibility for its maintenance and may enter the premises and take corrective action, including the provision of extended maintenance. The costs of such maintenance, plus any administrative costs and penalties, may be charged to the owner, property owner association, or to the individual property owners that make up the property owners association. Unpaid costs will become a lien on all subdivision properties.
8. Legal Instrument for Permanent Protection. The open space must be protected in perpetuity by a binding legal instrument that is recorded with the deed. The instrument for permanent protection must include clear restrictions on the use of the open space. These restrictions must include all restrictions contained in this section, as well as any further restrictions the applicant chooses to place on the open space. The legal instrument must be one (1) of the following:
- a. A permanent conservation easement (RSMo. 67.880) in favor of either:
 - (1) A land trust or similar conservation-oriented non-profit organization with legal authority to accept such easements. The organization must be bona fide and in perpetual existence and the conveyance instruments must contain an appropriate provision for transfer in the event the organization becomes unable to carry out its functions; or
 - (2) A governmental entity (if the entity accepting the easement is not the City, then a third right of enforcement favoring the City must be included in the easement);

- b. An open space tract protected by a permanent restrictive covenant for conservation purposes in favor of a governmental entity; or
- c. An equivalent legal tool that provides permanent protection, as approved by the City attorney.

D. Manufactured Home Parks.

- 1. General Standards for Manufactured Home Parks.
 - a. Manufactured home parks must contain a minimum area of fifteen (15) acres.
 - b. The minimum width of a manufactured home park is three hundred (300) feet.
 - c. A manufactured home park must be entirely owned by an individual, firm, trust, partnership, public or private association or corporation. No lots may be individually sold.
 - d. Manufactured home parks can only be used for residential purposes, customary and incidental accessory uses common to residential districts, and service buildings as permitted in Section 420.010C.7. Manufactured homes may be offered for sale in the park by owners selling their individual units only.
 - e. No manufactured home may be located for occupancy or occupied unless on a designated lot within a manufactured home park, unless otherwise expressly permitted by this Code. No manufactured home may be parked within a public right-of-way for more than twenty-four (24) hours.
 - f. Recreational vehicles may not be occupied at any time.
- 2. Circulation System.
 - a. Internal Street System.
 - (1) Public and approved private streets must be constructed in accordance with City construction standards for primary residential streets.
 - (2) Manufactured home parks must have at least two (2) permanent vehicular entrances that are at least forty (40) feet in width.
 - b. Pedestrian Circulation. A sidewalk with a width of at least four (4) feet must be constructed along one side of each street within the manufactured home park, in accordance with City construction standards.

3. Lighting. The interior and exterior of all manufactured home parks must be constructed with sufficient exterior lighting that allow for safe movement of vehicles and pedestrians at night. Lighting of streets and community buildings must provide an average illumination level of one-half (1/2) foot-candles. All exterior lighting must be installed and maintained by the operator of the park.
4. Recreation Areas.
 - a. A minimum of five hundred (500) square feet of recreation and/or open space area must be provided per manufactured home lot. Each recreational or open space area must contain a minimum of five thousand (5,000) square feet in area and be provided with adequate recreational equipment and facilities. These include suitable landscaping, fencing and seating areas.
 - b. If a swimming pool is provided the pool must be constructed in accordance with City requirements. See Section 420.050B.
 - c. Recreation and open space areas must be centrally located and connected to pedestrian walkways and sidewalks within the park.
 - d. The required recreational or open space area must be fully developed before fifty percent (50%) of the lots are occupied.
5. Landscaping and Paving.
 - a. Each manufactured home space must include on-lot landscaping consisting of at least two (2) shade trees with a caliper of at least one and one-half (1 1/2) inches.
 - b. Exposed ground surfaces in all parts of every manufactured home park must be paved, covered with stone screenings or other solid materials, or protected with a vegetative growth that is capable of preventing soil erosion and of eliminating objectionable dust.
 - c. All manufactured home parks and spaces shall be maintained in a neat and presentable manner. All landscaping, park and open space improvements required by the Unified Development Code must be maintained.
 - d. All manufactured home parks must be surrounded by a screen and/or landscape buffer in accordance with Section 430.070C1.
6. Storm Shelters. A storm shelter which is adequate to accommodate three (3) persons per manufactured home must be provided and centrally located within the park.
7. Service Buildings and Community Facilities. Service buildings,

management offices, community storage areas, indoor recreation areas and/or laundry and similar facilities that serve park residents may be provided within a manufactured home park, provided they do not occupy more than five percent (5%) of the area of the park. Service buildings and community facilities must be located, designed and intended to serve the residents of the park and present no visible evidence of their commercial character from any area outside the park.

8. Individual Storage Areas. A community storage area with a minimum of two hundred fifty (250) square feet per manufactured home space must be provided within the park. This storage area must be fenced with a solid, visually obstructing wall or fence with a height of six (6) feet.
9. Sanitary Sewer and Water Supply.
 - a. Every space within a manufactured home park must be provided with public sanitary sewer and water service with all utility lines constructed in accordance with City approved plumbing and sanitary codes. All utility lines, including electrical service must be placed underground.
 - b. No manufactured home lot may be located farther than three hundred (300) feet from a fire hydrant.
 - c. Sanitary conditions within any manufactured home park must be consistent with the regulations of the Missouri Board of Health, Clean Water Commission, other State regulatory agencies and ordinances of the City.
10. Drainage Requirements.
 - a. Manufactured home parks must be located on a well-drained site, properly graded to insure rapid drainage and freedom from stagnant pools of water.
 - b. No manufactured home park may be located in the one-hundred-year floodplain.
11. Standards for Individual Manufactured Homes and Park Spaces.
 - a. Dimensional Standards.
 - (1) All manufactured home park spaces must meet the following dimensional requirements:

Standard	Dimension
Minimum manufactured home space area	4,000 square feet

Minimum manufactured home space width	50 feet
Minimum manufactured home dimensions	10 feet x 50 feet
Minimum setback from perimeter property lines	30 feet
Separation between manufactured homes	30 feet
Separation between manufactured homes and unattached accessory structures, on the same or another home site)	10 feet
Separation between manufactured homes and accessory structures and other manufactured home park structures, including offices, service buildings, community buildings or laundry buildings	30 feet
Separation between manufactured homes and internal street pavement, parking areas or common areas	15 feet

(2) In measuring the minimum separation between manufactured homes, measurements will be taken from the outermost projection of the manufactured home or from any attached accessory structure, such as decks, stairs, stoops, porches, attached carports, and any other structure that is not separated from the manufactured home by at least ten (10) feet.

b. Construction Standards.

- (1) All manufactured homes must be constructed according to applicable local building codes. Where the provisions of the building code conflict with the standards of this section, the more restrictive provision will control.
- (2) Every manufactured home must be placed on a solid concrete slab under the entire home with a thickness adequate to support the structure.
- (3) Every manufactured home must be securely skirted within fifteen (15) days after placement in a park by enclosing the

open area under the unit with a material that is comparable with the exterior finish of the manufactured home and must be adequately maintained.

- (4) All manufactured homes must be supported at a maximum of ten-foot centers around the perimeter of each manufactured home and this blocking must provide sixteen (16) inches by sixteen (16) inches bearing upon the stand.
- (5) Tie-downs and ground anchors must secure all manufactured homes to the ground, as required by the State of Missouri.

c. Design Standards.

- (1) All manufactured homes must have frontage on a street within the manufactured home park.
- (2) Each manufactured home lot must be provided with two (2) paved off-street parking spaces.
- (3) Each manufactured home lot must be provided with a paved patio area other than a parking space of not less than two hundred (200) square feet.
- (4) Each manufactured home must be provided with a weather-tight container with a tight fitting cover for garbage disposal. The park owner must insure that containers are emptied regularly, at least weekly, and maintained in a useable sanitary condition.

d. Electrical Connections. Each manufactured home lot must be provided with an electrical source supplying at least 220 volts, in accordance with City electrical codes.

E. Manufactured Home Residential Design. A manufactured home of residential design shall comply with the following criteria:

1. Minimum dimensions of twenty-two (22) feet in width and forty (40) feet in length;
2. The pitch of the roof of the manufactured home has a minimum vertical rise of four (4) feet for each twelve (12) feet of horizontal run and the roof finished with a type of shingle that is commonly used in standard residential construction in the City;
3. All roof structures provide an eave projection of no less than twelve (12) inches, exclusive of any guttering;
4. The exterior siding consists of vinyl or metal horizontal lap siding (whose reflectivity does not exceed that of low luster white paint), wood, or hardboard, comparable in composition, appearance and

durability to the exterior siding commonly used in standard residential construction in the City;

5. Is set up in accordance with the recommended installation procedures of the manufacturer and the standards set by the National Conference of States on Building Codes and Standards and published in "Manufactured Home Installations, 1987" (NCS BCS A225.1), and a continuous, permanent masonry foundation or masonry curtain wall, or poured concrete wall, unpierced except for required ventilation and access, is installed under the perimeter of the Residential-Design Manufactured Home;
6. Stairs, porches, entrance platforms, ramps and other means of entrance and exit to and from the home are installed or constructed in accordance with the standards set by the building code and attached firmly to the primary structure and anchored securely to the ground; and
7. Has substantially the appearance of an on-site, conventionally built, single-family dwelling.

F. Group Homes.

1. Group homes located within residential neighborhoods must maintain an exterior appearance in general conformance with the neighborhood.
2. Group homes must be located a minimum distance of one thousand (1,000) feet from any other group home, unless this distance requirement is waived by the City Council.

Section 4. Section 430.060 Site Trees of the Unified Development Code is hereby repealed in its entirety and re-enacted as follows:

430.060. Site Trees Residential Landscaping.

~~A. One tree must be planted along street frontages between the front building line and the front lot line of each lot in a subdivision and shall not be located within the right of way. Said tree § 430.060 § 430.060~~

~~shall be of a size in accordance with Section 430.130B1 and be of a species type listed in Section 430.090A. On lots with two (2) street frontages, one (1) site tree is required on each frontage. Once planted, the maintenance of these trees is the responsibility of the property owner. Required site trees must be installed on an individual lot prior to issuance of a certificate of occupancy. [Amendment 35 – Ordinance 2022-076, 10-24-2022]~~

~~B. To reduce the risk of disease and/or insect infestation, no more than fifty percent (50%) of the site trees in a subdivision may be of one (1) species.~~

A. Applicability. All new detached single and two-family dwellings shall provide lot landscaping in the form of ornamental grasses, shrubs, evergreens, ornamental and shade trees, each having their own point value. Attached single-family and multi-family dwellings are exempt from this code subsection, but shall meet all other standards of this chapter, including a landscape plan.

B. Plant Values.

1. Minimum Point Requirements.

Single-Family Lots 40 Points

Two-Family Lots 45 Points

2. Values By Type.

1-Gal. Shrubs or Grasses 1 Point

3-Gal. Shrubs or Grasses 3 Points

4-ft Evergreens 4 Points

6-ft Evergreens 6 Points

Ornamental Tree 8 Points

Shade Tree 10 Points Max. Per Lot

C. Required Street Frontage Shade Tree(s).

1. Each lot is required to have one (1) street frontage shade tree per street frontage. Lots with frontage of one hundred (100) feet in width or more shall provide one (1) per fifty (50) feet of street frontage. The tree(s) shall be planted in the front yard(s) and within fifteen (15) feet of the front property line. The street frontage shade tree(s) does not count towards the point totals for either the single or two-family requirement.

2. Lots along right-of-ways with street trees shall provide one (1) ornamental tree in the adjacent front yard(s) at no value towards the overall points required.

3. Cul-de-sac lots shall provide street frontage shade trees on every other lot. Those lots without a required street frontage shade tree shall provide an ornamental tree in the front yard area and said tree will count towards the overall required points.

D. General Shade Tree(s). Only one (1) shade tree, worth ten (10) points, counts

towards the minimum points required.

- E. Front Facades/Entrances. Clustering of landscape materials, at minimum, shall be installed around the dwelling's pedestrian entrance and on the building's corners.
- F. Two-Family Dwellings. Shall provide a general balance of landscaping across both sides of the lot.
- G. To reduce the risk of disease and/or insect infestation, no more than fifty percent (50%) of the site trees in a subdivision may be of one (1) species.
- H. Existing Shade Tree Preservation. Shade Trees that are deemed to be in good health and have been trimmed or pruned may count towards the point requirements of this section. No more than one (1) existing shade tree may be awarded points. The Development Services Director determines if a tree on a lot is eligible for points. Eligible trees that are at minimum fifteen (15) feet in height are worth twenty (20) points.
- I. Inspections. The Development Services Department will inspect landscaping ahead of issuance of a Certificate of Occupancy. If necessary due to forces of nature, a Temporary Certificate of Occupancy may be issued with a defined expiration date. The builder is responsible for calling in this inspection. This should be done as part of the final inspection process.

Section 5. Section 430.130 Plant Materials of the Unified Development Code is hereby repealed in its entirety and re-enacted as follows:

430.130. Plant Materials.

- A. Plant Selection. All plant materials used to satisfy the requirements of this chapter must conform with the plant quality standards of the American Association of Nurserymen.
- B. Minimum Planting Sizes at Time of Planting.
 - 1. Trees.
 - a. Deciduous shade trees shall be two and one-half (2 1/2) to three-inch caliper as measured six (6) inches above ground.
 - b. Evergreen trees shall be four (4) ~~six (6)~~ to six (6) ~~eight (8)~~ feet in height.
 - c. Ornamental trees shall be one (1) to one and one-half (1 1/2) inch caliper as measured six (6) inches above ground. The smallest trunk of multi-trunk clusters (three (3) or more trunks) shall be three-quarters (3/4) inch.
 - 2. Shrubs and Hedges.
 - a. Deciduous and evergreen shrubs must have a minimum container size of three (3) to five (5) gallons depending upon species and spacing.

- b. Hedges, where required, must be planted and maintained to form a continuous, visual screen within a maximum of one (1) year after time of planting.
 3. Vines. Vines must be a minimum of thirty (30) inches in height immediately after planting and may be used in conjunction with fences, screens or walls to meet physical barrier requirements as specified.
 4. Ground Covers. Ground covers used in lieu of grass in whole or in part must have a finished appearance and reasonably complete coverage within three (3) months after planting.
 5. Grass.
 - a. Land Disturbance Activities. When a land disturbance permit has been issued, seeding may be utilized for erosion and sediment control when completed in accordance with Chapter 455. Seeding is also an acceptable grass cover for any land awaiting development.
 - b. Building Permits. When a building permit has been issued for a principal structure upon a lot, the lot must either have sod or hydroseeding installed wherever grass is required to be installed. The hydroseeding or sod must be installed prior to the issuance of any permanent certificate of occupancy.
- C. Installation. The **Development Services Department** ~~Building Inspector~~ will inspect all landscaping and no certificates of occupancy or similar authorization will be issued unless the landscaping is completely installed in compliance with the approved landscape plan and this chapter.
 1. All landscaping materials must be installed according to current accepted good planting procedures and in compliance with all applicable ordinances and code requirements.
 2. Plant materials must be free from disease and installed in a fashion that ensures the availability of sufficient soil and water to sustain healthy growth.
- D. Maintenance.
 1. All landscaping materials must be maintained in good condition so as to present a healthy, neat and orderly appearance and must be kept free from refuse and debris.
 2. All landscaping must be periodically trimmed so that it does not obstruct a public right-of-way.
 3. Diseased and dead landscape material and damaged non-living

materials must be replaced within sixty (60) days of receipt of notice from the City by materials equal in size, density and appearance as originally required at the time of site plan approval.

4. The owner, tenant and their agent, if any, will be jointly and severally responsible for the maintenance of all landscaping.
5. Irrigation systems for all areas of turf, trees, shrubs, annual gardens or perennial gardens are required in the R-3B, C-1, C-2, C-3, PO, and BP districts and must be shown on the landscape plan. All irrigation systems must be maintained in proper working condition.

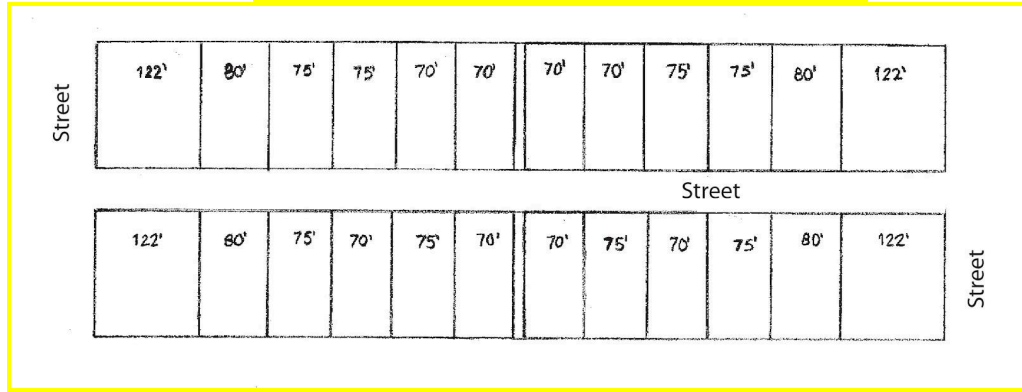
Section 6. Section 445.030 Subdivision Design and Layout of the Unified Development Code is hereby repealed in its entirety and re-enacted as follows:

445.030. Subdivision Design and Layout.

- A. Compliance with Growth Management Plan. Subdivider's shall refer to the Growth Management Plan when designing a new subdivision layout. Land use, transportation connectivity, and location of trails and park land as indicated in the Growth Management Plan shall be considered in the design and layout of the subdivision. **[Amendment 25 – Ordinance 2017-051, 8-28-2017]**
- B. Conditions. The subdivision of land is a privilege conferred upon the developer by the laws of the State of Missouri and through these subdivision regulations. It is the developer who is seeking to acquire the advantages of lot subdivision and upon him/her rests the duty of compliance with reasonable conditions laid down by the Planning and Zoning Commission and the City Council for design, dedication, improvement and restrictive use of the land so as to conform to the physical and economical development of the City and to the safety and general welfare of the future plot owners in the subdivision and of the community at large.
- C. **Single and Two-Family Residential Design Standards.**
 1. **Purpose.** The following standards shall apply to all new detached single and two-family residential lots within any residential district, except A, RE and RR. To discourage monotony, there shall be diversity in lot widths, unique front facades through material and form, and landscaping that accentuates building entries and corners with trees that provide a generous canopy.
 2. **Applicability.** Subdivision plats/phases consisting of ten (10) or more lots shall be subject to these standards. The standards shall be considered a minimum, and additional requirements may apply as part of the rezoning or subdivision review process.

3. Lot Widths. Lot widths throughout a subdivision shall vary and no more than two (2) of the same dimension shall be used next to each other. The variation in dimensions shall be no less than five (5) feet. There shall be at least three (3) different lot widths fronting the street along the length of a block.

Basic Lot Width Layout Along a City Block



* The diagram shown above is for illustrative purposes only and not meant to be prescriptive.

4. Entry Features. An entry feature is designed to increase architectural variation along a block, provide an inviting usable outdoor space, highlight the home's entrance, and activate the streetscape. While each entry type shares these commonalities they also have distinct purposes.

- a. Entry Feature Type.

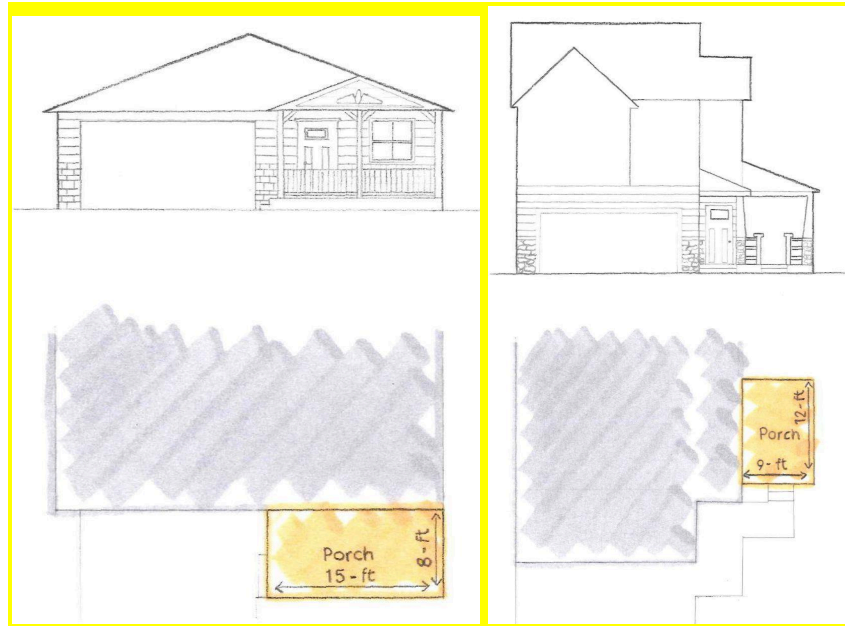
- (1) Front or Side Porches

- (a) Purpose. Comfortable, Inviting, Social

- (b) Form. All porches shall have a minimum depth of 8feet and a width of 10feet. The minimum dimension does not include steps or the landing leading to the porch. Covered porches should feature different roof designs, i.e. flat, shed, gable, hip, arched, no roof, etc. and locations on the facade i.e. center, left, right, wrapped, etc. Side porches can serve as part of the primary entrance to the home or as a more private space with limited access.

- (c) Detail. Ornamentation in the form of pediments, transom windows, enlarged trim, mouldings or corbels

are required over the entry feature's pedestrian entrance or front door, if uncovered. Decorative railings or short walls up to four (4) feet in height shall wrap at least 50% of the porch perimeter.



*Graphics are intended to convey form and may reflect dimensions beyond the minimum requirements.

(2) Stoops.

(a) Purpose. Transitional, Practicable, Approachable

(b) Form. Stoops shall be at least one (1) feet wider on either side of the front door and six (6) feet in depth. The minimum dimension does not include steps leading to the stoop. Covered stoops should feature different roof designs, i.e. flat, shed, gable, hip, arched, no roof, etc.

(c) Detail. When projecting, the perimeter of the stoop not along a building facade shall be established with decorative railings or short walls up to four (4) feet in height. Ornamentation is required over the front entry feature's pedestrian entrance or front door, as listed in subsection (a.)(i.) of this section.



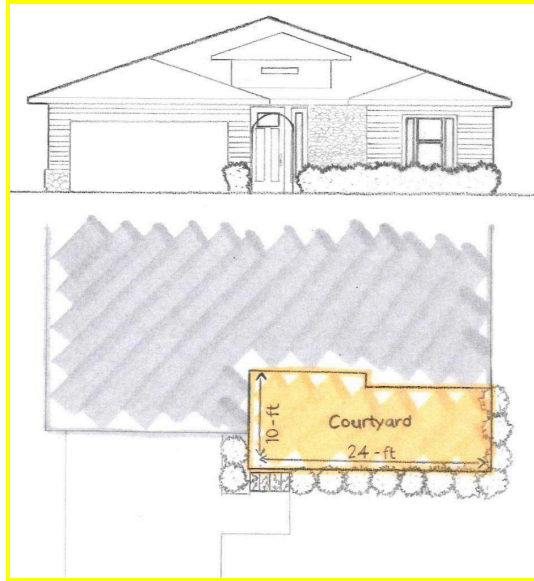
*Graphics are intended to convey form and may reflect dimensions beyond the minimum requirements.

(3) Courtyards

(a) Purpose. Welcoming, Elegant, Buffer

(b) Form. Shall be designed within a recessed area of the front facade and be a minimum of one hundred (100) square feet. Up to fifty (50) percent of the courtyard may extend beyond the Primary Front Facade.

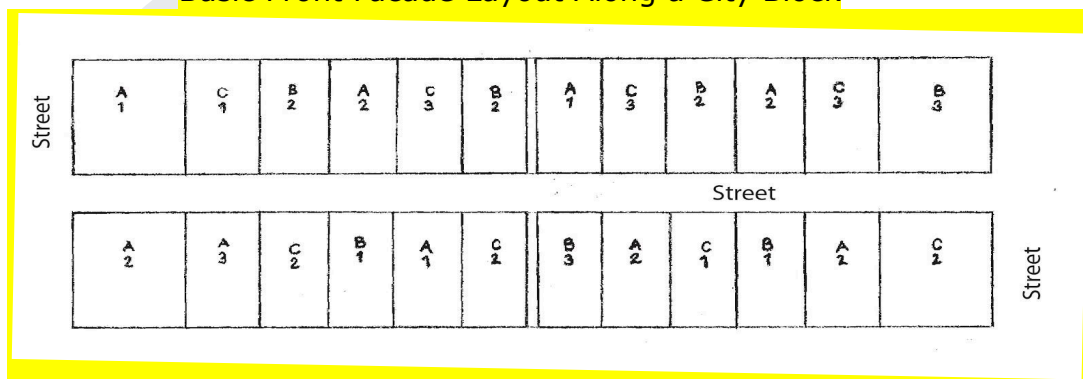
(c) Detail. The perimeter of the courtyard not along a building facade shall be established with short walls or decorative fencing and or landscaping up to four (4) feet in height. The courtyard shall either provide vertical landscaping no less than six (6) feet in height, pillars, an arched trellis, or other ornamental features that define the pedestrian entrance into the courtyard.



*Graphics are intended to convey form and may reflect dimensions beyond the minimum requirements.

5. Front Facades of Abutting Lots. A minimum of three (3) entry features, as outlined in subsection four (4.), shall be provided for the homes of the subdivision. No two (2) of the same entry feature may be located next to or directly across from one another. An entry feature is considered the same when the type, projection or recession from the primary facade, and the facade materials used on the feature are alike or the same. As an example, two projecting front porches can be on neighboring lots if the materials differ.

Basic Front Facade Layout Along a City Block



* The diagram shown above is for illustrative purposes only and not meant to be prescriptive.

Entry Type		Materials
A	- Covered Projecting Front Porch	1 - Brick Masonry
B	- Covered Projecting Side Porch	2 - Stone Masonry
C	- Uncovered Projecting Stoop	3 - Wood

* Additional materials other than what is listed above may be considered. The list is intended as an example.

Two-family Buildings. Both entrances may utilize the same entry feature on a singular building. The required entry feature shall vary from building to building.

6. Submittal Requirements. The following items shall be submitted with any preliminary plat, final plat or building permit application.

a. Lot Diversity Table - Lists lot widths and percentages of each across the plat/ phase. The table shall be provided on the Preliminary and Final Plats.

b. Preliminary and final plats shall include the following note:

Single and Two-Family Residential Design Standards - The lots and buildings within this proposed subdivision plat shall meet the standards of Raymore's Unified Development Code Section 445.030(C), including lot widths and entry features. Entry features are to be reviewed with each building permit.

c. A front building elevation and plot plan shall be submitted with the building permit for each home and reviewed by the Planning Division of Development Services as part of the permit review process.

D. Definitions.

Primary Front Facade. The facade which faces nearest the front property line.

Projection. Entry features that extend more than fifty (50) percent past the Primary Front Facade towards the front property line.

Recession. Entry features that are positioned fifty (50) percent or more behind the Primary Front Facade.

E. Design Principles and Guidelines.

1. Traffic Movement and Pedestrian Circulation.
 - a. Subdivisions shall be designed to create an integrated system of lots, streets, trails, and infrastructure that provides for efficient movement of people, bicycles, and automobiles within the subdivision and to and from adjacent development.
 - b. Subdivisions shall provide for the efficient movement of through traffic by providing a completely interconnected hierarchy of streets and roads in order to avoid isolation of residential areas and over-reliance on arterial roads.
 - c. All subdivisions shall be designed to provide safe and attractive pedestrian routes to nearby commercial centers, as well as nearby public/civic, employment and recreation uses.
 - d. Street layouts shall be uncomplicated, so that emergency services, public services, and visitors can find their way to their destinations.
 - e. Residential driveways shall not directly access arterial or collector roads.
 - f. Residential subdivisions involving three (3) or more lots shall be served by internal street systems rather than relying on direct access from existing arterial and collector streets. When direct access from arterial and collector streets is allowed, the City Council shall be authorized to require shared access drives and other mitigation measures to reduce the number of access points on major roads and thereby promote public safety and efficient movement of traffic.
2. Open Space.
 - a. Open spaces shall be integrated into and throughout subdivisions, should be connected with one another and with open spaces in adjacent developments, and should include trails that connect to pedestrian routes in the subdivision and to regional trail systems.
 - b. Open spaces anticipated for use as active or developed parks shall be located on relatively flat, well-drained terrain.
 - c. Open spaces not anticipated for use as active or developed parks shall be located on prominent high points with significant views or along significant and interesting geological features or wooded areas or along significant drainage areas.
 - d. Open spaces that are anticipated to serve as trail corridors shall be continuous with anticipated trail corridors on adjacent properties.

- e. Subdivisions shall be designed and laid out in a manner that creates the least damage to the natural environment and avoids to the maximum extent feasible significant natural resources such as prime agricultural lands, wooded areas and wetlands.
3. Natural Hazards. Lands subject to flooding, excessive erosion, and subsidence because of soil types or groups, water courses and other drainageways, steep slopes or other natural hazards may not be platted for residential or other uses in such a way as to present a danger to life or property or to the public health, safety or general welfare.
4. Natural and Cultural Resources.
 - a. Subdivisions shall be designed to preserve trees and native vegetation, ponds, streams, rivers, lakes, hillsides and other natural resources that exist on a site.
 - b. Subdivisions shall be designed to preserve cultural and historic resources.

F. Blocks.

1. The lengths, widths, and shape of blocks must be suited for the planned use of the land, zoning requirements, and need for convenient access, control and safety of street traffic and the limitations and opportunities to the terrain.
2. Blocks shall have sufficient width to provide for two (2) tiers of lots of appropriate depth except where otherwise required to separate residential development from through traffic.
3. Blocks may not exceed one thousand (1,000) feet in length. Pedestrian ways of not less than ten (10) feet in width must be provided near the center of any block that is six hundred (600) feet or more in length where deemed necessary in the opinion of the Planning and Zoning Commission to provide adequate pedestrian circulation or access to schools, shopping center, churches, parks or transportation facilities.

G. Lots.

1. The lot size, width, depth, shape and orientation, and the minimum setback lines must be appropriate for the location of the subdivision and for the type of development and use contemplated.
2. Lot dimensions, including width, depth, area and setbacks, must conform to the requirements of the Unified Development Code unless otherwise expressly stated in this section.
3. Corner lots for residential use must have extra width to permit

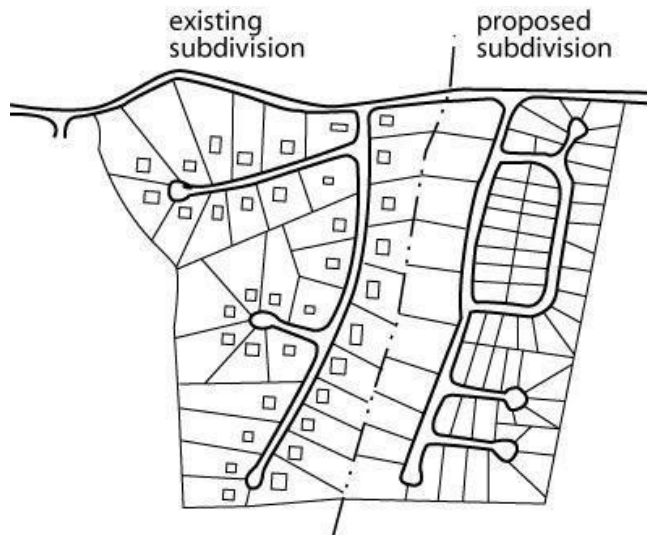
appropriate building setback from, and orientation to both streets.

4. The area of the street right-of-way shall not be included and calculated in the area of the lot with respect to minimum lot area requirements of the Unified Development Code.
5. Double frontage and reverse frontage lots may be approved at the time of preliminary plat approval where necessary to provide separation of residential development from through traffic or overcome specific disadvantages of terrain and orientation. No access shall be allowed onto a collector or arterial road.
6. The depth and width of properties reserved or laid out for commercial and industrial purposes shall be adequate to provide for the off-street service and parking facilities required by the type of use and development contemplated.
7. Unless otherwise approved by the Director of Public Works, the minimum finished floor elevation for the garage slab shall be one and one-half (1 1/2) feet above the top of curb. The maximum finished garage floor elevation shall be such as to provide a maximum driveway slope of **eight** ~~eighty~~ percent **(8%)** ~~(80%)~~.
8. When land is subdivided into larger parcels than ordinary building lots, such parcels shall be arranged in such a manner as to allow for the opening of future streets and logical further re-subdividing of the parcel.
9. **All subdivision lots in an applicable zoning district shall conform to the standards of 445.030(C).**

H. Subdivision Adjacency Standards. The following subdivision adjacency standards are intended to provide adequate transition between new single-family and two-family developments adjoining recorded platted single-family subdivisions in the City.

1. **Applicability.** For preliminary or final plat applications, if the median lot area per dwelling unit of proposed lots is less than seventy-five percent (75%) of the median lot of the adjacent existing platted lots, the requirements of this section shall apply.
2. **Exempted Subdivisions.**
 - a. New subdivisions separated from existing recorded platted subdivisions in the City by a right-of-way for the entire length of the new subdivision shall be exempt from the requirements of this section. If the right-of-way only extends for a portion of the distance between the two (2) subdivisions, then one (1) of the adjacency options shall be utilized along the remaining common lot line.

- b. An application for final plat approval that is part of a subdivision that obtained preliminary plat approval prior to January 22, 2007 shall be exempt from the provisions of this section.
 - c. An application for preliminary plat or final plat approval that is part of a subdivision that has an approved Memorandum of Understanding regarding development of the entire subdivision shall be exempt from the requirements of this section.
3. Standards. New residential subdivisions subject to the requirements of this section must provide one (1) of the following lot compatibility techniques along the common property line:
- a. Landscape Buffer with Berm.
 - (1) Shall have a minimum width of twenty-five (25) feet;
 - (2) Shall have a minimum height of four (4) feet;
 - (3) Evergreens shrubs, trees or other landscape plantings shall be utilized to create a Type A opaque buffer as defined in Section 430.080C1;
 - (4) Perimeter barriers, including fencing or walls, may be utilized within the landscape buffer; and
 - (5) The buffer shall be part of an open space or landscape tract.
 - b. Landscape Buffer without Berm.
 - (1) Shall have a minimum width of thirty (30) feet;
 - (2) Evergreens, shrubs, trees, or other landscape plantings shall be utilized to create a Type A opaque buffer as defined in Section 430.080C1;
 - (3) Perimeter barriers, including fencing or walls may be utilized within the landscape buffer; and
 - (4) The buffer shall be part of an open space or landscape tract.
 - c. Open Space Buffer.
 - (1) Shall have a minimum width of fifty (50) feet;
 - (2) Shall contain a ten-foot wide trail, pedestrian or bike path that provides pedestrian connectivity; and
 - (3) The buffer shall be part of an open space or landscape tract.
 - d. Yard Matching. The rear yard widths of the proposed development shall match the rear yard widths of the existing adjacent development.



- e. Parkland. Dedication of City parkland accepted by the Raymore Parks and Recreation Board.
- 4. Combination of Options. A combination of options may be utilized to fulfill the adjacency requirement along the entire length of the common property line between the proposed lots and existing platted lots.

I. Monuments.

- 1. The subdivider shall cause a registered land surveyor to install permanent reference points on all perimeter corners of the property.
- 2. All required monuments disturbed, destroyed, obliterated or lost during construction shall be replaced upon completion of the work by the developer or his/her contractors at the cost of the developer.

J. Easements. [Amendment 13 – Ordinance 2012-074, 9-24-2012; Amendment 24 - Ordinance 2017-004, 2-13-2017]

- 1. Utility Easements. The Director of Public Works may require general utility easements of adequate width along lot lines where necessary or advisable for poles, wires, conduits, sanitary sewers, gas, water, power, and other utility lines as dictated by the plans of the developer to provide utility connections. The following are established as minimum width for any general utility easements on all lots:
 - a. Front line easements--ten (10) feet;
 - b. Side line easements--five (5) feet;

- c. Rear line easements--seven and one-half (7 1/2) feet if adjacent to a general utility easement of at least five (5) feet in width otherwise, ten (10) feet.
2. Drainage Easements.
- a. Suitable drainage easements as required by the Director of Public Works must be dedicated on the subdivision plat to provide for the natural drainage of storm water through the plat and in consideration of proposed improvements.
 - b. The minimum width for drainage easements shall not be less than fifteen (15) feet for closed conduits and twenty (20) feet for open channels, but, in any case, must provide for conveyance of a one-hundred-year storm flow with additional width of not less than ten (10) feet for construction and maintenance equipment and operations. Any variations to these standards should be noted on the final plat certified by the Director of Public Works.
 - c. These drainage ways must be improved to the extent necessary to properly accommodate storm flows in a manner to eliminate erosion and possible loss and damage to life, land and property. The location, width and alignment of such drainage easements and the improvements shall be subject to the approval of the Director of Public Works.
3. Private Easements.
- a. A proposed subdivision plat shall not dedicate any private utility easement in the public rights-of-way.
 - b. Dedication of rights-of-way as part of a subdivision plat shall be free and clear of private easements.
4. Restriction of Use.
- a. No building or structure shall be constructed, installed or placed in an easement area.
 - b. See Section 440.030A2 regarding fence location in an easement.

K. Streets. [Amendment 28 – Ordinance 2018-066, 9-10-2018; Amendment 33 - Ordinance 2020-068, 11-23-2020]

- 1. Street Access. All lots located in any subdivision must provide direct access to a dedicated public street, except that private streets may be permitted as a part of a Planned Unit Development or as otherwise permitted by this chapter.
- 2. Arrangement, Width and Location. In any new subdivision, the street

layout must conform to the arrangement, width, and location indicated on the Transportation Plan. Streets shall be designed and located in proper relation to existing and proposed streets; to the terrain; to natural features such as streams and tree growth; to public convenience and safety; to the proposed use of the land served by such streets; and to the most advantageous development of the adjoining area.

3. Connectivity.

- a. Proposed streets must extend to the boundary line of the tract being subdivided unless prevented by topography or other physical conditions; or unless in the opinion of the Planning and Zoning Commission such extension is not necessary or desirable for the coordination of the layout of the subdivision or for the advantageous development of the adjacent tracts.
- b. Streets within new subdivisions shall be connected with existing streets in adjacent subdivisions to provide connectivity between subdivisions.

4. Buffer Strips.

- a. Whenever a proposed residential subdivision contains lots that back onto an arterial or major collector, a buffer strip must be provided, according to one (1) of the following two (2) options:

	Option A	Option B
Buffer strip width	30 feet	20 feet
Canopy trees	1 deciduous shade tree every 60 feet	1 deciduous shade tree or 2 evergreens every 60 feet
Understory trees	Allowed, not required	3 ornamental and 1 evergreen tree every 100 feet
Large flowering shrubs	4 clustered every 150 feet	4 every 30 feet
Berm	Allowed, not required	Allowed, not required

- b. All trees and shrubs must be set back from the right-of-way line at least five (5) feet.

- c. The buffer may not be a part of the platted lots and must have the following restriction lettered on the plat:
 "This buffer reserved for the planting of trees or shrubs by the developer; the building of structures and fences hereon is prohibited."
 - d. At the time of final plat, the developer must provide a landscape plan for the buffer strip area.
 - e. A wall or fence consisting of a unified and consistent design and materials may be installed within the buffer area. The wall or fence must be included in the landscape plan submitted to the Planning and Zoning Commission.
5. Intersections. Streets must intersect at right angles unless otherwise dictated by topography or other factors of good design.
- a. The number of intersections along arterial and collector streets shall be held to a minimum. Wherever practical the distance between such intersections shall not be less than one thousand (1,000) feet.
 - b. Property lines at street intersections shall be rounded with a minimum radius of fifteen (15) feet. A greater radius may be required by the Director of Public Works where anticipated traffic justifies such a requirement.
 - c. Streets parallel to a limited access highway shall, when intersecting an arterial or collector street, highway or a collector street be located at a minimum distance of two hundred fifty (250) feet from said right-of-way, highway or collector street. Such distance, when desirable and practical, shall be determined with due consideration of the minimum distance required for the future separation of grades by means of appropriate approach gradients.
 - d. Local streets need not continue across arterial or collector streets; but, if the centerline of such local street approach the arterial or collector streets from opposite sides thereof within one hundred fifty (150) feet, however, the Director of Public Works may require an appropriate easement to accommodate drainage facilities, pedestrian traffic or utilities.
6. Street Dimensions. All streets must conform to the requirements contained in the City of Raymore Technical Specifications and Design Criteria Manual. **[Amendment 33 - Ordinance 2020-068, 11-23-2020]**
7. Half Streets. **[Amendment 25 - Ordinance 2017-051, 8-28-2017]**

- a. Where an existing dedicated or platted half street is adjacent to the tract being subdivided, the other half of the street right-of-way must be dedicated by the subdivider. Half street dedications are not permitted, unless there is satisfactory agreement with the City that all adjacent property owners agree to dedicate and construct the one-half (1/2) of the street that is adjacent to their property.
 - b. When a collector or arterial road is adjacent to the subdivision, one-half (1/2) of the applicable right-of-way for the road shall be dedicated to the City as part of the subdivision plat.
8. Suburban Estate Streets. Streets in subdivisions with lots two and one-half (2 1/2) acres in area or larger and with frontages of two hundred (200) feet or greater, or any streets in subdivisions in the RE district, may be designed in accordance with the cross section as shown in the City specification for streets, subbase and base for residential lots larger than two and one-half (2 1/2) acres.
9. Cul-de-sac Streets. **[Amendment 22 – Ordinance 2015-068, 9-14-2015]**
 - a. Cul-de-sac streets may not be longer than six hundred (600) feet, measured from the centerline of the cul-de-sac to the centerline of the connecting street. In subdivisions with lots one-half (1/2) acre or larger, cul-de-sac streets may be up to eight hundred (800) feet in length. Exceptions may be made where topographic or other unusual existing conditions so require, subject to the approval of the Director of Public Works and the Planning and Zoning Commission.
 - b. Turnaround design must be submitted to and approved by the Director of Public Works in accordance with the City of Raymore Technical Specifications and Design Criteria Manual.
 - c. A decorative island shall be required at the center of a cul-de-sac turnaround to provide for stormwater treatment. Decorative islands must be designed and maintained in accordance with Section 450.020 of the Unified Development Code.
10. Private Streets. Private streets are permitted subject to the approval of the City Council. A homeowner's association or business district association must be formed to maintain any private street.
11. Street Classification. Street classification in new subdivisions must first be determined by the Director of Public Works when the Preliminary Plat of a subdivision is submitted. The final classification will be determined by the City Council as approval of the final plat is made by that Council.

12. Street Names and Signs. **[Amendment 25 - Ordinance 2017-051, 8-28-2017]**
 - a. Street names must be suggested by the developer and approved by the Planning and Zoning Commission at the time of the preliminary plat approval.
 - b. Street names must comply with the City Addressing and Street Naming Policy.
 - c. Reflective street signs, approved by the Director of Public Works, will be provided and installed by the subdivider at all street intersections at the subdivider's expense.

L. Street Lighting. [Amendment 8 – Ordinance 2011-9, 2-28-2011; Amendment 24 - Ordinance 2017-004, 2-13-2017]

1. The subdivider shall be responsible for installation of all required street lights associated with any new subdivision at the time public improvements are installed. Street lights shall be required as follows:
 - a. On any collector or arterial street immediately adjacent to the subdivision wherein street lights are not currently installed; and
 - b. On any street within the subdivision in accordance with a street light plan designed by an engineer registered in the State of Missouri, submitted by the subdivider, and approved by the Director of Public Works.
2. Street lights required to be installed on adjacent collector or arterial streets shall be installed in accordance with a street light plan already approved by the City or a plan designed by an engineer registered in the State of Missouri, submitted by the subdivider, and approved by the Director of Public Works.
3. The subdivider shall take the necessary steps to secure placement of required street lights. Street lights shall be installed and be operational prior to acceptance of any public improvements in the subdivision.

M. Sidewalks. [Amendment 17 – Ordinance 2014-005, 2-10-2014; Amendment 24 - Ordinance 2017-004, 2-13-2017; Amendment 29 - Ordinance 2019-003, 1-14-2019]

1. Requirement.
 - a. Residential Developments.
 - (1) Sidewalks shall be installed on both sides of all public streets except upon lots greater than three (3) acres in size,

or in the case of a residential subdivision, when the average lot size is greater than three (3) acres.

- (2) Sidewalks shall be installed in the right-of-way, on the property line adjacent to the street, along the street frontage of all lots.
- (3) Sidewalks along private streets shall be determined as part of preliminary plat review.
- (4) Corner lots that do not contain an ADA curb ramp shall have the ramp installed at the time sidewalk is installed upon the lot.

b. Commercial, Industrial and All Other Developments.

- (1) Sidewalks shall be installed on both sides of all public streets.
- (2) Sidewalks shall be installed in the right-of-way, on the property line adjacent to the street, along the street frontage of all lots.
- (3) Sidewalks shall be provided along one side of access drives and shall connect to sidewalks along all public streets adjacent to the development.
- (4) Corner lots that do not contain an ADA curb ramp shall have the ramp installed at the time sidewalk is installed upon the lot.

2. Installation of Sidewalks.

a. Residential Developments. **[Amendment 8 – Ordinance 2011-9, 2-28-2011; Amendment 12 – Ordinance 2012-050, 6-25-2012; Amendment 22 - Ordinance 2015-068, 9-14-2015; Amendment 23 - Ordinance 2015-091]**

- (1) Sidewalks on an individual lot shall be installed along all public streets adjacent to the lot prior to the issuance of a certificate of occupancy for the structure on the lot.
- (2) Sidewalks in common areas that are not adjacent to any lot(s) shall be installed at the time public improvements are installed. All other sidewalk in common areas shall be installed by the owner of the common area at the time adjacent lot(s) are developed.
- (3) Sidewalks along local roads adjacent to land not included in the subdivision phase shall be installed at the time public improvements are installed.
- (4) Sidewalks along arterial or collector streets shall be installed

at the time public improvements are installed.

- (5) The owner of any undeveloped lot within the subdivision or subdivision phase shall be required to construct a sidewalk on that lot when:
 - (a) Sixty-six percent (66%) or more of the lots on the same side of the street in the same block already have a sidewalk; and
 - (b) It has been three (3) years from the date the first Certificate of Occupancy was issued in the subdivision or subdivision phase that contains the undeveloped lot.
- (6) If any portion of a corner lot has frontage along a street that meets the threshold of sub-section 5 above then sidewalk is required to be installed on all street frontages of the corner lot.
- (7) Should any sidewalk not be completed within the required time period, the city may, after holding a public hearing, proceed with constructing the sidewalk and levy a special assessment against the property owner for the costs thereof.
- (8) Any final plat approved after the effective date of this Code shall include a note on the plat that includes the language stated in Section 445.030K2a5.
- (9) After holding a public hearing, the City Council shall consider the following factors in its deliberation to determine if the City is to install a sidewalk on an undeveloped lot and levy a special assessment against the property owner for the costs thereof:
 - (a) Whether the sidewalk segment is necessary to create a continuous sidewalk from the subdivision to a school.
 - (b) Whether the sidewalk segment is necessary to create a continuous sidewalk from the subdivision to a sidewalk or trail on an arterial street.
 - (c) Whether installation of the sidewalk segment eliminates a safety concern.
 - (d) The percentage of the developed lots (degree of completion) in the subdivision or subdivision phase is high enough to warrant the installation of the sidewalk segment.
 - (e) The likelihood that the lot would be developed within the next year.

- (f) Whether the sidewalk segment is necessary to create a continuous sidewalk to a park or subdivision amenity such as a pool.
 - (g) Whether the sidewalk segment is necessary to create a continuous sidewalk between subdivisions.
 - (h) Whether the sidewalk was required under a previously adopted City Code provision.
 - b. Commercial, Industrial and all Other Developments.
 - (1) All required sidewalks shall be installed upon the lot under development prior to the issuance of a certificate of occupancy for any building upon the lot.
 - c. Construction Standards. All sidewalks shall be constructed according to the Kansas City Metro Materials Board (KCMMB) 4K concrete material specification and City of Raymore Standard Specifications and Design Criteria. **[Amendment 11 - Ordinance 2011-52, 8-08-2011]**
- 3. Sidewalk Width. **[Amendment 29 - Ordinance 2019-003, 1-14-2019]**
 - a. Sidewalks shall be a minimum width of five (5) feet.
 - b. Sidewalks constructed in a residential subdivision with a final plat recorded prior to February 1, 2019 may be four (4) feet in width.
 - c. Sidewalks along any access drive shall be at least five (5) feet in width.

N. Trails. Trails shall be provided in accordance with Section 445.040C.

O. Dedications of Rights-of-Way.

- 1. When a land use permit or building permit is requested on a lot or tract abutting a public street, the Development Services Director must determine that adequate right-of-way exists on that portion of the public street abutting the property. The minimum right-of-way, measured from the centerline of the street of the property line of the lot or tract, will be determined based upon the classification of the abutting street. Classification of the abutting street shall be determined by reference to the Transportation Plan; or, if the classification is not designated on any of such documents, the Director of Public Works shall determine the street classification by reference to existing or planned land uses of abutting properties and the Transportation Plan.
- 2. Once the street classification has been determined, right-of-way

requirements shall be calculated in an amount equal to one-half (1/2) of the total right-of-way requirement established for such street classification in the Transportation Plan. Where the property lies on both sides of the public street, the right-of-way requirement must equal the amount set forth in the plan.

3. No land use permit or building permit will be issued for any lot or tract where the abutting right-of-way does not clearly comply with the right-of-way requirements until title for the additional required right-of-way has been conveyed to the City by plat or deed and accepted by the City Council.
4. Any requirement for dedication of right-of-way pursuant to this section may be waived by the Development Services Director where the permit being requested does not result in a change or expansion of use of the property or an increase in the square footage of any building.
5. Where development or construction will require easements and right-of-way dedications outside subdivision plat boundaries, no approval of construction plans for developments will be granted until verification of the recording of all easements and right-of-way dedications has been received.

P. Exceptions for Existing Improvements.

1. Where the proposed subdivision is a resubdivision or concerns an area presently having any or all required improvements as previously set out, and where such improvements meet the requirements of this section and are in good condition as determined by the City Council upon its consideration of the opinion of the Director of Public Works, no further provision need be made by the subdivider to duplicate such improvements. However, where such existing improvements do not meet said requirements as determined by the City Council upon its consideration of the opinion of the Director of Public Works, the subdivider shall provide for the repair, correction or replacement of such improvements so that all final improvements will then meet said requirements as determined by the City Council upon its consideration of the opinion of the Director of Public Works.
2. Where the proposed subdivision is a resubdivision or concerns an area presently abutting or continuing any existing public street of less than the minimum required right-of-way width or roadway width, land shall be dedicated so as to provide a minimum street right-of-way width established by this Code or by the policy of the City Council; and the subdivider of such proposed subdivision shall provide an additional roadway pavement meeting the minimum standards set by this Code and the City Council. The City Council shall determine what adjustment to make where the aforesaid

widening merges with existing streets which are of smaller width at the boundary of such proposed subdivision. The City Council may reduce the minimum roadway system in the proposed subdivision if the extension of such roadway is already improved at each end of such roadway in the subdivision and the roadway in the proposed subdivision is two (2) blocks or less in length.

Q. Street Trees. Where street trees are provided within a subdivision, they must comply with the requirements of Section 430.070.

R. Stormwater Drainage Systems.

1. Storm drainage systems must be designed by a registered professional engineer, approved by the Director of Public Works and installed by the subdivider.
2. Reinforced concrete pipe (RCP) must be installed at street crossings for storm sewers.

S. Sewage Disposal Systems.

1. Sanitary sewers must be designed by a registered professional engineer, approved by the Missouri Department of Natural Resources, approved by the Director of Public Works and installed by the subdivider.
2. The minimum requirement for sewer lines is the installation of eight-inch sewer line and service connection to all adjacent lots.
3. Sewage treatment plants and pumping stations, if approved, must be constructed according to the specifications and standards of the Missouri Department of Natural Resources.
4. All new homes shall be connected to a public sanitary sewer system.
 - a. In the RE district, any new subdivision development not connecting to a public sanitary sewer system shall utilize a common sewage collection and treatment system, with provisions made for future connection to a public sanitary sewer system.
 - b. Existing lots that are a minimum of three (3) acres in size and are not within three hundred (300) feet of a public sanitary sewer system may utilize an individual sewage disposal system.
5. Existing residences with an individual sewage disposal system that is properly functioning are not required to connect to a public sanitary sewer system. Should the individual sewage disposal system fail, connection shall be made to a public sanitary sewer system. If no public sanitary sewer system is available within three hundred (300) feet of the primary structure, then the individual sewage disposal system may be repaired or replaced.

T. Water Distribution Systems. Water distribution system, including the number and location of fire hydrants, shall be designed by a registered professional engineer and approved by the Missouri Department of Natural Resources and Director of Public Works and installed by the subdivider.

1. The minimum requirement for water systems is the extension of eight-inch water distribution mains and service connections to all adjacent lots according to the City's minimum specifications.

Section 7. Effective Date. The effective date of approval of this Ordinance shall be coincidental with the Mayor's signature and attestation by the City Clerk.

Section 8. Severability. If any section, subsection, sentence, clause, phrase, or portion of this Ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct, and independent provision, and such holding shall not affect the validity of the remaining portions thereof.

DULY READ THE FIRST TIME THIS _____ DAY OF _____, 2026.

BE IT REMEMBERED THAT THE ABOVE ORDINANCE WAS APPROVED AND ADOPTED THIS _____ DAY OF _____, 2026, BY THE FOLLOWING VOTE:

Councilmember Abdelgawad
Councilmember Baker
Councilmember Barber
Councilmember Burke III
Councilmember Circo
Councilmember Engert
Councilmember Holman
Councilmember Mills

ATTEST:

APPROVE:

Erica Hill, City Clerk

Kristofer P. Turnbow, Mayor

Date of Signature