



AGENDA

Raymore Planning and Zoning Commission Regular Meeting
City Hall – 100 Municipal Circle
Tuesday, January 20, 2026
6:00 PM

- 1. Call to Order**
- 2. Roll Call**
- 3. Pledge of Allegiance**
- 4. Personal Appearances**
- 5. Consent Agenda**
 - A. Approval of Minutes from the December 16, 2025 Meeting
 - B. 2026 Meetings & Deadlines Calendar
- 6. Unfinished Business**
- 7. New Business**
 - A. Case No. 25028: Branched Out Plaza Site Plan
- 8. City Council Report**
- 9. Staff Report**
 - A. December Year-End Department Report
- 10. Public Comment**
- 11. Commission Member Comment**
- 12. Adjournment**

MEETING PROCEDURES

Any person requiring special accommodation (i.e., qualified interpreter, large print, hearing assistance) in order to attend this meeting, please notify this office at (816) 331-3324 no later than forty eight (48) hours prior to the scheduled commencement of the meeting.

Hearing aids are available for this meeting for the hearing impaired. Inquire with the City Clerk, who sits immediately left of the podium as one faces the dais.

THE **PLANNING AND ZONING COMMISSION** OF THE CITY OF RAYMORE, MISSOURI, MET IN REGULAR SESSION **TUESDAY, DECEMBER 16, 2025** IN THE COUNCIL ROOM AT RAYMORE CITY HALL, 100 MUNICIPAL CIRCLE, RAYMORE, MISSOURI WITH THE FOLLOWING COMMISSION MEMBERS PRESENT: MICHELLE PARKER, REGINALD TOWNSEND, AARON HARRISON, MATTHEW WIGGINS, KELLY FIZER, ERIC SMITH, AND MAYOR TURNBOW. ABSENT WERE LOREN SHANKS AND MARIO URQUILLA. ALSO PRESENT WAS DEVELOPMENT SERVICES DIRECTOR DAVID GRESS, SENIOR PLANNER DAVE MCCUMBER, CITY ATTORNEY JONATHAN ZERR, SENIOR ENGINEERING TECHNICIAN DEVON PERRY, ECONOMIC DEVELOPMENT DIRECTOR JORDAN LEA, AND ADMINISTRATIVE ASSISTANT EMILY JORDAN.

1. **Call to Order** – Chairman Wiggins called the meeting to order at 6:00 p.m.
2. **Pledge of Allegiance**
3. **Roll Call** – Roll was taken and Chairman Wiggins declared a quorum present to conduct business.
4. **Personal Appearances** - None
5. **Consent Agenda**

a. **Approval of Minutes from the November 18th, 2025 meeting.**

Motion by Mayor Turnbow, Seconded by Commissioner Smith to approve the Consent Agenda.

Vote on Motion:

Commissioner Parker	Aye
Commissioner Shanks	Absent
Commissioner Townsend	Aye
Commissioner Harrison	Aye
Commissioner Fizer	Aye
Commissioner Smith	Aye
Commissioner Urquilla	Absent
Mayor Turnbow	Aye
Chairman Wiggins	Aye

Motion passed 7-0-0.

6. **Unfinished Business** -

a. **Election of Officers**

Development Services Director David Gress gave an overview of how the election of Officers works, and noted that both of the Commissioners that were up for reappointment were reappointed by the City Council. Since all Commissioners are current on their appointments, an election for Officers may take place. The current slate of officers is Chairman Wiggins, Vice Chair Fizer, and Secretary Smith. The current slate of officers should state willingness to continue to serve before being reelected.

All Officers voiced willingness to continue to serve.

Motion by Commissioner Townsend, Seconded by Mayor Turnbow, to accept the current slate of officers and reelect them for another term.

Vote on Motion:

Commissioner Parker	Aye
Commissioner Shanks	Absent
Commissioner Townsend	Aye
Commissioner Harrison	Aye
Commissioner Fizer	Aye
Commissioner Smith	Aye
Commissioner Urquilla	Absent
Mayor Turnbow	Aye
Chairman Wiggins	Aye

Motion passed 7-0-0.

Mr. Gress noted that the 2026 meeting calendar will be brought to the Commission in an upcoming meeting to be voted into adoption.

7. New Business -

a. Case #25017 - 7Brew Site Plan - Raymore Gateway Lot 2

Wade Harden, the applicant for the project, came to the podium to give an overview of the request. Mr. Harden noted that he believes the project should be allowed as a use by right. Chick-Fil-A is located next door and would share an entrance on the west side of the property. The developers would meet or exceed the Unified Development Code (UDC) requirements for parking and car stacking. The storm water is already taken care of for the property. There are more than 500 locations for 7Brew, and the lot selected would be a great location for the development. To the east of the property, there is a remnant tract that would not be purchased by the developers. It is too small to add any value to the project, but would be maintained by the developers to ensure the area looks nice and presentable. A hike and bike trail would be installed to benefit residents and customers, as well as landscaping and lighting.

City Planner Dave McCumber gave an overview of the case, including the staff report, existing and surrounding zonings, past planning actions, alignment with the Comprehensive Plan, Staff comments, and findings of fact. Mr. McCumber covered the special use standards, parking, sidewalks, access easements, and stacking. An access easement should be created between lots 1 and 2 to help settle potential future conflicts regarding traffic between the lots. This has been listed as a condition of approval. There were incentives in place for the demolition of a building previously located on the property, including the creation of Westgate Drive which split the platted lot, creating a remnant tract. There has been an effort to combine the remnant tract with lot 2 but efforts have been unsuccessful. Ideally, a developer would purchase both the remnant and lot 2 to combine them into a larger developable area to develop a highly sought-after multi-tenant building, or similar development that would better utilize the footprint of the undeveloped area. Concentration of drive-through lanes has become something that defines the entry corridor of Raymore. The request conflicts with the Comprehensive Plan and UDC goals of balanced growth and traffic congestion. Most of the findings of facts show met requirements, but the project conflicts with long range planning goals and redevelopment efforts of the City. City Staff would like to continue to encourage the use of a larger

developable area, and recommend the Commission accept the findings of fact and deny the case.

Mayor Turnbow raised concerns about adding site access to the property via 58 Highway.

Mr. McCumber noted that there would not be a new access via 58 Highway or from Westgate. New access to the property would be provided through the parking lot thoroughfare shared with Chick-Fil-A.

Mayor Turnbow noted that City Staff, the Planning & Zoning Commission, and the City Council all worked very hard to create the new Comprehensive Plan and asked staff to comment on how this Case fits into the new Comprehensive Plan.

Mr. Gress gave a brief overview of the Comprehensive Plan. It was adopted by the City Council, and it gives guidance on the direction of the growth of the City for the next 20 years. Many community goals were included in the Comprehensive Plan, and it also includes insight into balance of land use, concentration of similar types of buildings, and other guiding principles for the City for the next 20 years. The currently proposed project would create a lot of traffic congestion and generally does not align with the 2045 Comprehensive Plan. Since that is a recently adopted document, it should be taken into consideration when voting on the case.

Commissioner Townsend had a question regarding vehicle stacking.

Mr. Gress noted that the developer is proposing for cars to wrap around the building from south to north, along the south and east property lines. A double drive-through is being proposed, which would cause significant traffic congestion in the area.

Commissioner Townsend had a question regarding the remnant tract of land and the improvements being proposed by the developer.

Mr. Gress noted that the improvements would be to the right-of-way, not to the tract itself.

Commissioner Townsend asked if Staff had any plans or ideas on what could be done with the remnant tract.

Mr. Gress gave the history of the blight study that was done previously regarding the remnant tract and lot 2. There was previously a barrier fence separating lot 2 and the remnant tract, in addition to significant overgrowth, but it was removed to remediate the blight. Adding a building to lot 2 would only create a new barrier between the right-of-way and the proposed development that generally existed before the removal of the building.

Chairman Wiggins had a question regarding the right-of-way shown in the packet.

Mr. Gress noted that the area shown is half right-of-way and half remnant tract.

Chairman Wiggins asked if the remnant tract was not bought into lot 1 and considered part of the development, who would take care of it?

Mr. Gress commented that part of the tract would be maintained by the applicant, but it would not be their responsibility to maintain the tract long term.

City Attorney Jonathan Zerr mentioned that the owner of the remnant tract is still responsible for the maintenance. The lot is considered unbuildable as it stands.

Mayor Turnbow had a question about the vehicle stacking diagram shown in the packet.

Mr. Gress and Chairman Wiggins both commented that it is not a rendering of the actual proposed development, just an image from the UDC. The plan drawings in the packet better show the proposed drive-through stacking.

Commissioner Townsend asked about a trail that is being proposed and had questions about trail lighting.

Mr. McCumber noted that it will be in the right-of-way. The applicant would be responsible for installing the trail lighting.

Commissioner Smith asked about interest in lot 2.

Mr. Gress commented that there has been some interest in the lot by developers, but nothing serious.

Commissioner Smith questioned if the developers are meeting the bulk of the development standards and are maintaining the remnant tract why the City would recommend denying the project.

Mr. Gress asked the Commission to explore more options when considering the Case. Staff believes there is a better option for the area that aligns with the Comprehensive Plan and redevelopment goals of the City, including the possibility of a builder who will take the remnant lot and put it to a more productive use. A development such as a multi-tenant building, a sit down restaurant, or a restaurant without a drive through.

Commissioner Smith asked if Chick-Fil-A had been looped into the conversation and if so, what their opinion was.

Mr. Gress noted that Chick-Fil-A does not own the land in question, but they have no issue with the proposal.

Mr. Zerr encouraged the applicant to come to the podium to answer questions and give comments.

Mr. Harden came back up to the podium to answer questions. Mr. Harden stated that the 2045 Comprehensive Plan was adopted by resolution. The development should be allowed by right. The developers are willing to go above and beyond the requirements which would be beneficial to the City. Traffic wouldn't be much of an issue, since most of the drive-through business generated by the development is drive-by traffic.

Jason Pullman came to the podium on behalf of the developer. Mr. Pullman believes the City is concerned about having an unbuildable lot, but there is currently already an unbuildable lot there. The creation of Westgate Drive created an unusable lot, practically unbuildable. The lot is not economically viable, so there is no incentive to buy it. Though they don't want to buy it, the developers will take care of the remnant lot. Mr. Pullman feels that 7Brew would be a great use for the property and could possibly generate more income than a multi-tenant building. Other 7Brew locations are on similarly sized lots with similar traffic patterns and traffic has not become an issue for the development.

Commissioner Townsend asked about the remnant tract being unbuildable, and for clarification on use by right.

Mr. McCumber noted that based on the size of the remnant tract, including the setback requirements and rights-of-way, not much would fit on the lot without intervention.

Mr. Zerr stated that use by right implies that since all of the requirements have been met by the developer, there may be a case made that the request should be approved even if it does not align with the Comprehensive Plan. If the Commissioners agree that the project proposes the highest and best use for the property, they should vote to approve the request.

Mr. Gress noted that there are findings outlined in the Staff Report that show both support and non-support.

Chairman Wiggins asked if the Comprehensive Plan provided guidance regarding similar businesses being located close to one another.

Mr. Zerr noted that a vote should not be based on economic development of the area and should not take competing businesses into account.

Mr. Gress stated that the Comprehensive Plan looks for balanced and compatible growth. On the proposed lot, anything with a drive-through would not be best suited for the area. This includes coffee shops, drive-through oil changes, or anything of the sort. Similar issues would be a concern with those types of businesses, not just the current proposal.

Motion by Commissioner Townsend, Seconded by Mayor Turnbow, to accept the Staff proposed Findings of Fact and deny Case #25017 - 7Brew Site Plan, Raymore Gateway Lot 2.

Vote on Motion:

Commissioner Parker	Aye
Commissioner Shanks	Absent
Commissioner Townsend	Aye
Commissioner Harrison	Aye
Commissioner Fizer	Aye
Commissioner Smith	Nay
Commissioner Urquilla	Absent
Mayor Turnbow	Aye
Chairman Wiggins	Nay

Motion passed 5-2-0.

Mayor Turnbow commented that he voted to deny the case because he felt it was the wrong move to overlook the highest and best use of the property, and doesn't want the City to limit themselves by allowing a project that doesn't align with the Comprehensive Plan.

Commissioner Townsend commented that he finds the findings of fact to be adequate, but believes that the project is not right for the site.

Commissioner Smith commented that he voted to approve the case because he feels that the project meets all obligations, and questioned the use of variances in the City.

8. City Council Report

City Attorney Jonathan Zerr provided an overview of recent City Council meetings since the Commission last met.

9. Staff Report

Mr. Gress gave the staff report, including the Development Services monthly report. Mr. Gress provided information on the City's current development projects and housing permit activity. Mr. Gress also noted upcoming meetings and hearings.

10. Public Comment

There were no public comments.

11. Commission Member Comment

Commissioner Parker wished everyone a happy holiday, and commented on the development application.

Commissioner Townsend seconded other Commissioners' comments.

Commissioner Harrison wished everyone a happy holiday.

Chairman Wiggins thanked Staff and the applicant, and bid everyone a happy holiday.

Commissioner Fizer thanked Staff and wished everyone a happy holiday.

Commissioner Smith wished everyone a happy holiday.

Mayor Turnbow thanked those who came to the Mayor's Christmas Tree Lighting ceremony and noted to the applicant that there is a way to use the property that aligns with the highest and best use, but thanked them for their application.

12. Adjournment

Motion by Mayor Turnbow, Seconded by Commissioner Smith, to adjourn the December 16, 2025 Planning and Zoning Commission meeting.

Rollcall Vote on Motion:

Commissioner Parker	Aye
Commissioner Shanks	Absent
Commissioner Townsend	Aye
Commissioner Harrison	Aye
Commissioner Fizer	Aye
Commissioner Smith	Aye
Commissioner Urquilla	Absent

Mayor Turnbow
Chairman Wiggins

Aye
Aye

Motion passed 7-0-0.

The December 16, 2025 meeting adjourned at 7:03pm.

Respectfully submitted,
Emily Jordan

2026 CALENDAR Meetings & Deadlines

Planning and Zoning Commission | City Council | Raymore, MO



Planning Commission Meeting Date	Application Deadlines			Good Neighbor Meeting Notice Deadlines (Rezoning, Preliminary Plat, PUD)		Planning and Zoning Public Hearing Notice		City Council Public Notice	City Council 1st Reading	City Council 2nd Reading
	Residential Preliminary or Final Plat, Rezoning Submittal Date	Annexation, Site Plan, Conditional Use Permit Submittal Date	Final Revisions Submittal Date	60-day review	30-day review	Legal Notice Sent to publish	Neighbor Notice	Legal Notice Sent to publish		
1st and 3rd Tuesdays	60 days prior to meeting date	Commercial Preliminary and Final 30 days prior to meeting date	2 weeks before meeting (Tuesday)	3 days following Application Deadline		3 weeks before meeting (Friday)	2 weeks before meeting (Friday)	3 weeks before meeting (Friday)	2nd and 4th Mondays	Usually next meeting following 1st reading
6-Jan	7-Nov	5-Dec	23-Dec	10-Nov	8-Dec	12-Dec	19-Dec	2-Jan	26-Jan	9-Feb
20-Jan	21-Nov	19-Dec	6-Jan	24-Nov	22-Dec	26-Dec	2-Jan	16-Jan	9-Feb	23-Feb
3-Feb	5-Dec	2-Jan	20-Jan	8-Dec	5-Jan	9-Jan	16-Jan	30-Jan	23-Feb	9-Mar
17-Feb	19-Dec	16-Jan	3-Feb	22-Dec	19-Jan	23-Jan	30-Jan	13-Feb	9-Mar	23-Mar
3-Mar	2-Jan	31-Jan	17-Feb	5-Jan	3-Feb	6-Feb	13-Feb	27-Feb	23-Mar	13-Apr
17-Mar	16-Jan	13-Feb	3-Mar	19-Jan	16-Feb	20-Feb	27-Feb	20-Mar	13-Apr	27-Apr
7-Apr	6-Feb	6-Mar	24-Mar	9-Feb	9-Mar	13-Mar	20-Mar	3-Apr	27-Apr	11-May
21-Apr	20-Feb	20-Mar	7-Apr	23-Feb	23-Mar	27-Mar	3-Apr	17-Apr	11-May	25-May
5-May	6-Mar	3-Apr	21-Apr	9-Mar	6-Apr	10-Apr	17-Apr	1-May	25-May	8-Jun
19-May	20-Mar	17-Apr	5-May	23-Mar	20-Apr	24-Apr	1-May	15-May	8-Jun	22-Jun
2-Jun	3-Apr	1-May	19-May	6-Apr	4-May	8-May	15-May	29-May	22-Jun	13-Jul
16-Jun	17-Apr	15-May	2-Jun	20-Apr	18-May	22-May	29-May	19-Jun	13-Jul	27-Jul
7-Jul	8-May	5-Jun	23-Jun	11-May	8-Jun	12-Jun	19-Jun	3-Jul	27-Jul	10-Aug
21-Jul	22-May	19-Jun	7-Jul	25-May	22-Jun	26-Jun	3-Jul	17-Jul	10-Aug	24-Aug
4-Aug	5-Jun	3-Jul	21-Jul	8-Jun	6-Jul	10-Jul	17-Jul	31-Jul	24-Aug	14-Sep
18-Aug	19-Jun	17-Jul	4-Aug	22-Jun	20-Jul	24-Jul	31-Jul	21-Aug	14-Sep	28-Sep
1-Sep	3-Jul	31-Jul	18-Aug	6-Jul	3-Aug	7-Aug	14-Aug	4-Sep	28-Sep	12-Oct
15-Sep	17-Jul	14-Aug	1-Sep	20-Jul	17-Aug	21-Aug	28-Aug	18-Sep	12-Oct	26-Oct
6-Oct	7-Aug	4-Sep	22-Sep	10-Aug	7-Sep	11-Sep	18-Sep	2-Oct	26-Oct	9-Nov
20-Oct	21-Aug	18-Sep	6-Oct	24-Aug	21-Sep	25-Sep	2-Oct	16-Oct	9-Nov	23-Nov
3-Nov	4-Sep	2-Oct	20-Oct	7-Sep	5-Oct	9-Oct	16-Oct	30-Oct	23-Nov	14-Dec
17-Nov	18-Sep	16-Oct	3-Nov	21-Sep	19-Oct	23-Oct	30-Oct	20-Nov	14-Dec	28-Dec
1-Dec	2-Oct	30-Oct	17-Nov	5-Oct	2-Nov	6-Nov	13-Nov	4-Dec	28-Dec	11-Jan
15-Dec	16-Oct	13-Nov	1-Dec	19-Oct	16-Nov	20-Nov	27-Nov	18-Dec	11-Jan	25-Jan

A Public Hearing is Required for Preliminary Plat, Rezoning, and Conditional Use Permits.

All applicants are required to meet with the City's Development Review Committee (DRC) prior to making any application.

The DRC meets by appointment with applicants. An appointment can be scheduled by calling the Development Services Department at (816)331-1803

All applications must be complete upon submittal. A complete application and submission includes all required engineering plans

SITE PLAN - BRANCHED OUT PLAZA

APPLICANT -	Mike Blythe
Property Owner:	Mike Blythe
Engineering/Arch. Firm	Site Consulting Engineers, LLC

PROJECT LOCATION	REQUESTED ACTION -
Hibner Acres Lot 1B	Site Plan Approval

PROJECT NARRATIVE

An application was filed requesting site plan approval for Branched Out Plaza, a two building commercial development on 2.06 +/- acres, generally located southeast of Rice and West Pine Streets.



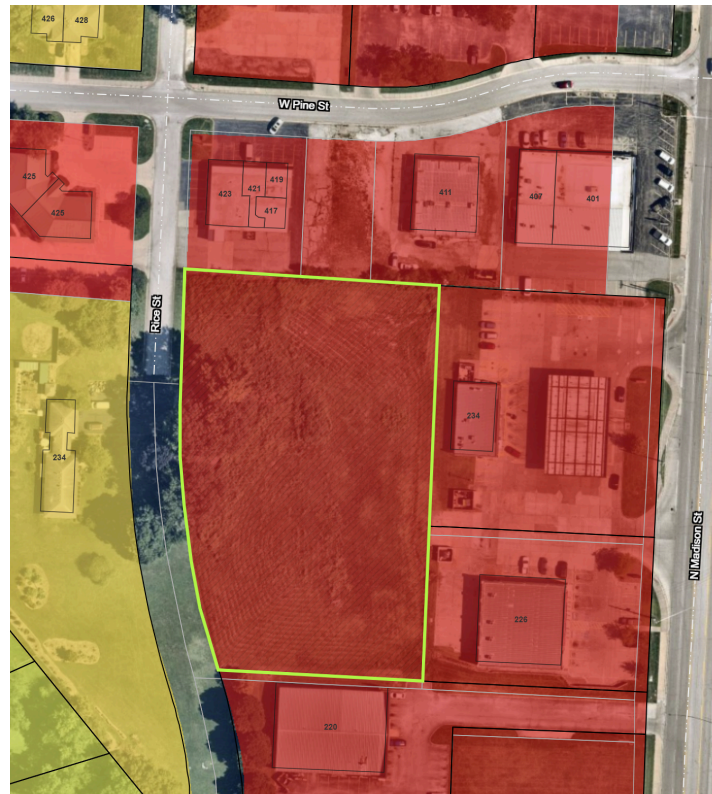
ZONING AND LAND USE SUMMARY

EXISTING ZONING

"C-2P" General Commercial, Planned District

SURROUNDING ZONING & LAND USE

- North:** "C-2" General Commercial District - Sport and Recreation Participant
- South:** "C-2" General Commercial District - Retail Sales, Small
- East:** "C-2" General Commercial District - Gas Station & Retail Sales, Small
- West:** "R-2" Single and Two-Family Residential District - Dwelling, Single-family Detached



TOTAL LOT SIZE	NUMBER OF LOTS
2.06 +/-	1

SITE PLAN REVIEW

Unified Development Code (UDC) Section 470.160 - Site Plan Review regulates the development of structures and sites in a manner that takes into consideration the following considerations:

1. The balancing of landowners’ rights to use their land, with the corresponding rights of neighboring landowners, residents and the general public, to live without undue disturbances (e.g., noise, smoke, vibration, fumes, dust, odor, glare, stormwater runoff, etc.);
2. The convenience and safety of vehicular and pedestrian movement within the site and in relation to adjacent areas or roads;
3. The adequacy of waste disposal methods and protection from pollution of surface or groundwater;
4. The protection of historic and environmental features on the site under review and in adjacent areas
5. The stability of the built environment, particularly residential neighborhoods, by promoting urban development which is compatible with clearly identified natural resources; and
6. The adequacy of provisions for resulting additional system demands which may be imposed by the development upon roads and streets, water supply and storage, storm sewerage, and sanitary sewerage and wastewater treatment and the consistency of the development with the city’s comprehensive plan, Raymore Blueprint 2045.

PAST PLANNING ACTIONS

1. On March 9, 2004, the Board of Zoning Adjustment approved a variance from then Section 405 Table D. Area, Bulk, and Height Regulations-Commercial and Industrial, which required the commercially zoned lot of Hibner Acres to have a minimum of 100-ft of street frontage. The variance allowed for 0-ft of frontage to be required as there were plans to vacate the right-of-way that contained Rice Street along the property’s west boundary. Access by way of easement dedication was to be granted on a future replat of the property that allowed

access from N Madison Street to the east.

2. On April 6, 2004, the Planning and Zoning Commission voted to recommend approval for a replat of Hibner Acres, which created lot 1B (subject of this Variance Application) and required that no access be allowed to Rice Street if the property remained commercially zoned. Furthermore, the plat dedicated an access easement between the now Casey's General Store and O'Reilly Auto Parts buildings to N Madison Street.

3. On May 4, 2004, The Planning and Zoning Commission voted to recommend approval for a request to vacate a portion of Rice Street, which was forwarded to the City Council and approved on June 14, 2004, by Bill 1733. All but 100-ft of the right-of-way containing Rice Street was vacated along the frontage of Hibner Acres Lot 1B. With the approval of the vacation, the variance granted by the Board of Zoning Adjustment on March 9, 2024 from Section 405 Table D was no longer necessary, however is still active on the property.

4. On February 12, 2025, The Board of Zoning Adjustment voted to approve with conditions a Variance of Use for Hibner Acres, Lot 1B, to allow the Construction Sales and Service land use on the property. The conditions of the approval were as follows:
 - a. *The variance shall permit the Construction Sales and Service land use on Lot 1B of Hibner Acres including the uses permitted in the "C-2" General Commercial District, except:*
 - i. *Adult Business*
 - ii. *Animal Services - Kennel*
 - iii. *Banks and Financial Services*
 - iv. *Daycare*
 - v. *Eating and Drinking Establishment*
 - vi. *Lodging*
 - vii. *Self Storage Facility, Indoor*
 - viii. *Sports and Recreation, Participant - Outdoor*
 - ix. *Vehicle Sales and Service*

 - b. *The applicant shall submit an application to rezone Lot 1B of Hibner Acres from "C-2" General Commercial to "C-2P" General Commercial-Planned District for the purposes of establishing specific development standards for the property through the Conceptual Site Plan process.*

 - c. *Following approval of the Rezoning and Conceptual Site Plan, an application shall be submitted for a Site Plan that meets the development standards of the UDC including those established by the "C-2P" District Conceptual Site Plan.*

 - d. *The rezoning application shall be submitted and approved within 1-year of the decision of the Board of Zoning Adjustment for the variance request. Failing to*

submit and receive approval of the rezoning application will result in the variance request becoming void.

5. The Planning & Zoning Commission held a public hearing and voted to recommend approval to rezone the property from "C-2" General Commercial to "C-2P" General Commercial, Planned District with a concept plan on May 6, 2025.
6. Following a public hearing with the Raymore City Council on May 12, 2025, the City Council voted to approve a rezoning from "C-2" General Commercial to "C-2P" General Commercial, Planned District with an associated conceptual plan on June 9, 2025.

DEVELOPMENT STANDARDS

DIMENSIONAL STANDARD	REQUIREMENT
Lot Size	2.06 +/- acres
Lot Width x Lot Depth	+/- 380-ft X +/- 250-ft
Front-Yard Setback	30-ft
Side-Yard Setback	10-ft
Side-Yard Setback (exterior)	20-ft
Rear-Yard Setback	20-ft
Building Height	80-ft
Building Coverage	40%

USES PERMITTED	USES PROHIBITED - CASE 25001 VAR OF USE
CONSTRUCTION SALES AND SERVICE AND THE PERMITTED USES IN THE "C-2" GENERAL COMMERCIAL DISTRICT, EXCEPT:	<ul style="list-style-type: none"> Adult Business Animal Services - Kennel Banks and Financial Services Daycare Eating and Drinking Establishment Lodging Self Storage Facility, Indoor Sports and Recreation, Participant - Outdoor Vehicle Sales and Service

SPECIAL USE CONDITIONS - CASE 25007 REZONING

- In accordance with the "Hibner Acres Lot 1- 5" (BK 18 PG 80) no access to Rice Street shall be permitted for Lot 1B while the property remains zoned as a commercial district.
- Outdoor storage of materials, merchandise or debris is prohibited.
- Outdoor storage of vehicles or equipment shall be limited to businesses licensed at the development.
- A master sign plan detailing design criteria as it pertains to type, size, font, illumination and color shall be submitted, reviewed and approved prior to the installation of permanent signage on the property.

PARKING REQUIREMENTS

PROPOSED USE	PARKING REQUIREMENT	REQUIRED	PROVIDED
Construction Sales and Service	1 per 1,000 square feet of non-office floor area plus 1 per 300 square feet of office floor area	22 spaces, including 3 handicapped-accessible spaces	22 spaces, including 3 handicapped-accessible spaces

BUILDING DESIGN

The proposed building complies with the Building Design Standards established by Unified Development Code Section 440.010, including building location and design, building materials, building form, site utilities, and overall site design.

LANDSCAPING & SCREENING

PARKING LOT LANDSCAPING: The proposed site plan meets the standards set by the project's Conceptual Development Plan (Case 25007) as it pertains to parking lot landscaping.

SITE LANDSCAPING: The proposed site plan meets the standards set by the project's Conceptual Development Plan (Case 25007) as it pertains to site landscaping.

SCREENING: The proposed site plan meets the standards set by the project's Conceptual Development Plan (Case 25007) as it pertains to screening, which includes the screening wall and landscaping along the west property line.

SIGNAGE

A Master Sign Plan (Case 25007) shall be submitted for review prior to the installation of permanent signs on the property. There has been no proposed plan at this time for permanent signage.

SITE ACCESS

STREET ACCESS: Access to the site is provided through a shared drive with an access easement extending westward to the site from N Madison Street. The drive splits lots 1A (Casey's) and 1C (O'Reilly's) of Hibner Acres. The easement was permitted with the Replat of "Hibner Acres, Lot 1 and 5" (BK18 PG80) on July 13, 2004.

PEDESTRIAN ACCESS: 6-ft wide sidewalks are provided between the parking lot's spaces and the building facades. This depth provides space for vehicular overhang and adequate pedestrian circulation.

SITE UTILITIES

WATER: Domestic water is being supplied by The City of Raymore and is located along 58 HWY. This development has a private water line for fire protection and a private fire hydrant.

SEWER: City sanitary sewer services this site and is located on the east side of their property.

STORMWATER MANAGEMENT: The existing stormwater detention basin on the West side of their property will get additional work required to be completed by this development and will be sufficient for the development that is being built.

SITE LIGHTING: This project will have private lighting on site. There is public street lighting in the area.

STAFF COMMENTS -

PLANNING AND ZONING:

- The proposed site plan meets the standards of the Unified Development Code and the approved Conceptual Plan (Case 25007).

PUBLIC WORKS & ENGINEERING:

- The property has access to adequate water and sanitary sewer infrastructure in the immediate area. The domestic water will be tapped into the public water line on 58 hwy and metered. The fire line will also come off 58 HWY but become private after it passes through the backflow device. There will be a private fire hydrant that will be installed on the private side of this line.

SOUTH METRO FIRE:

- No comments

ALIGNMENT WITH RAYMORE BLUEPRINT 2045 -

The Future Land Use Map associated with the Raymore Blueprint 2045 does indicate that the property should be used in some sort of commercial capacity and defines the Commercial land use as: Areas most appropriate for retail uses, offices, and most commercial businesses.

ECONOMIC DEVELOPMENT IMPACT-

The development of this vacant parcel will add to the city’s tax base without adding public infrastructure to the city’s current system, as it is already served by public utilities and streets. It will add leasable square footage to the city’s portfolio of buildings designed for small business, which is a building type that currently has pent up demand. The product provides a flexible style of space to meet the needs of smaller and newer businesses in the city, including offering storefront commercial space, with flexible options for storage of material goods or equipment.

FINDINGS OF FACT -

Section 470.160 of the Unified Development Code states that the Planning and Zoning Commission and the City Council must make findings of fact taking into consideration the following in the deliberation of a site plan approval:

1. The plan complies with all applicable standards of this code and all other applicable city ordinances and policies.

The proposed site plan does comply with all applicable standards of the UDC and other city ordinances and policies.

2. The plan does not conflict with the adopted plans of the City of Raymore or the purpose and intent of this code

The plan has no conflict with adopted city plans or the intent of the UDC.

3. The proposed use is allowed in the district in which it is located.

The proposed uses are allowed in the “C-2P” General Commercial, Planned District per Case No. 25001 - Variance of Use.

4. Vehicular ingress and egress to and from the site, and circulation within the site provides for safe, efficient, and convenient movement not only within the site but also on adjacent roadways.

Vehicular ingress and egress to and from the site is across a platted access easement the lot’s eastern property line across Lots 1A and 1C of Hibner Acres to N Madison Street. On the site, each building has front and rear garage doors that will allow service vehicles to pull

straight through to either side of the site.

5. The plan provides for safe, efficient, and convenient movement of pedestrians on and to the site.

The site has been planned with sidewalks between the parking stalls and building facade wide enough to allow for vehicular overhang without blocking circulation.

6. The arrangement of structures and buildings on the site allows for efficient use of the land, is compatible with development on adjacent property, and minimizes potential adverse impacts on existing or planned municipal infrastructure and services.

The proposed structures are arranged in a way to optimize space on the infill lot. Given the site is between higher intense commercial uses (east) and less intense residential uses (west), the commercial buildings are designed with pitched roofs and provide a buffer between the residential and commercial areas. Furthermore, a screen wall with landscaping is proposed along the west property line. Municipal services to serve this lot have existed around this property since the area developed many years ago. There are no expected adverse impacts on the city systems.

7. Open space and natural features on the site are arranged in such a way that unique natural resources are preserved and creates a desirable and functional environment for site users.

Prior to this development, a stormwater detention facility occupied the northeast corner of the lot. With this proposed plan, the detention pond will need to be modified, but will still exist to manage the development's and surrounding development's stormwater discharge.

8. The plan avoids unnecessary or unreasonable alterations to existing topography, preserves existing healthy, mature trees and woodlands, and designs drainage facilities to promote the use and preservation of natural watercourses.

Due to developing on a relatively small infill lot, the few existing trees on the site will come down. Similar to most developments, the site's topography will change to accommodate the buildings and site improvements.

9. Provides adequate parking for the use, including logical and safe parking and circulation.

The site plan is proposing adequate parking and circulation for the development.

10. Provides landscaping and screening as required by this code that creates logical transitions to adjoining uses, screens incompatible uses, minimizes the visual impact of the development on adjacent roads and properties, and utilizes native plant materials selected to withstand the local climate and individual site microclimates.

The landscape plan does account for screening requirements of the UDC and the approved Conceptual Plan per Case 25007 - Rezoning. The required screening on the west property line will consist of a 6-ft wide landscape bed including various plantings to break up the 6-ft tall vinyl fence, which is further broken up by vertical stone pillars every 50-ft. A diagram of the wall is provided on the Site Plan (Sheet 2) of the Site Plan Drawings.

11. Includes site illumination that has been designed and located to minimize adverse impacts on adjacent properties.

The photometric plan provided does meet the standards of the UDC, which minimizes impacts on adjacent properties.

PROJECT REVIEW SCHEDULE

COUNCIL, COMMISSION OR BOARD	ACTION	DATE
Planning and Zoning Commission	Review & Decision	01/20/2026

STAFF RECOMMENDATIONS -

Staff recommends that the Planning and Zoning Commission accept the proposed findings of fact and approve Case No. 25028 Site Plan - Branched Out Plaza.

PLANNING COMMISSION SUGGESTED MOTIONS

- Motion to **recommend approval** of the Site Plan application, with conditions.
- Motion to **recommend denial** of the Site Plan application.
- Motion to **continue** the site plan application and request further information.

PROJECT ATTACHMENTS -

1. Site Plan Drawings
2. Building Elevations
3. Photometric Plan
4. Site Photos

ABBREVIATIONS

- Ac. = ACRES
- BLDG = BUILDING
- BOB = BOTTOM OF BANK
- BOC = BACK OF CURB
- BW = BOTTOM OF WALL
- CB = CATCH BASIN
- C.F. = CUBIC FEET
- CM = CONCRETE MONUMENT
- CMP = CORRUGATED METAL PIPE
- CN = CURVE NUMBER
- CO = CLEANOUT
- DIA, Ø = DIAMETER
- DIP = DUCTILE IRON PIPE
- EG = EXISTING GRADE
- EL, ELEV = ELEVATION
- ESMT = EASEMENT
- EX = EXISTING
- FES = FLARED END SECTION
- FG = FINISHED GRADE
- FF = FINISHED FLOOR
- FL = FLOW LINE
- FM = FORCE MAIN
- FOC = FACE OF CURB
- HDPE = HIGH DENSITY POLYETHYLENE
- INV = INVERT
- IPF = IRON PIPE FOUND
- IPS = IRON PIPE SET
- LAT = LATERAL
- LF = LINEAR FEET
- MAX = MAXIMUM
- MIN = MINIMUM
- MH = MANHOLE
- NTS = NOT TO SCALE
- OC = ON CENTER
- PL = PROPERTY LINE
- PR = PROPOSED
- PVC = POLY-VINYL CHLORIDE
- RCP = REINFORCED CONCRETE PIPE
- R/W = RIGHT-OF-WAY
- SAN. = SANITARY
- SB = SOIL BORING
- S.F. = SQUARE FEET
- SS = SANITARY SEWER
- STA = STATION
- SW = SIDEWALK
- TC = TOP OF CURB
- TE = TOP OF STRUCTURE ELEVATION
- TOB = TOP OF BANK
- TP = TEST PIT
- TYP. = TYPICAL
- TW = TOP OF WALL
- X/S = CROSS SECTION

STANDARD LEGEND

- LOT LINE
- PROPERTY LINE
- PLATTED DISTANCE
- MEASURED DISTANCE
- ELECTRIC METER
- CLEAN OUT SEWER
- ELECTRIC BOX
- TELEPHONE PEDISTAL
- AIR CONDITIONER UNIT
- GAS METER
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- GUY WIRE
- POWER POLE
- SEWER MANHOLE
- FENCE
- WATER LINE
- GAS LINE
- SANITARY SEWER LINE
- UNDERGROUND TELEPHONE LINE
- GAS LINE
- OVERHEAD ELECTRIC LINE
- TREE AND SIZE
- CONCRETE
- ASPHALT
- REINFORCED CONCRETE PIPE
- VITRIFIED CLAY PIPE
- FINISHED FLOOR

- NOTES:**
1. SANITARY SEWER LOCATION WITH RELATION TO THE WATER MAINS
 - A. SANITARY SEWER SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAINS. THE DISTANCE SHALL BE MEASURED OUTSIDE EDGE TO OUTSIDE EDGE.
 - B. SANITARY SEWER CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SANITARY SEWER. THIS SHALL BE THE CASE WHERE THE WATER MAIN IS EITHER ABOVE OR BELOW THE SANITARY SEWER. THE CROSSING SHALL BE ARRANGED SO THAT THE SANITARY SEWER JOINTS WILL BE EQUIDISTANCE AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS. WHERE A WATER MAIN CROSSES UNDER A SANITARY SEWER, ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SANITARY SEWER TO PREVENT DAMAGE TO THE WATER MAIN.
 - C. WHEN IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED ABOVE, CONCRETE ENCASEMENT SHALL BE REQUIRED TO BE INSTALLED A MINIMUM OF 5 FEET EACH SIDE OF THE CROSSING POINT ON THE LOWEST UTILITY. SEE CONCRETE ENCASEMENT DETAIL.
 - D. NO WATER PIPE SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SEWER MANHOLE.
 2. CONTRACTOR TO FIELD VERIFY ALL EXISTING FEATURES PRIOR TO CONSTRUCTION.
 3. THE EARTHWORK ON THIS SITE IS NOT BALANCED. CONTRACTOR IS RESPONSIBLE FOR ENSURING COMPLIANCE WITH NPDES PERMIT AND SWPPP BOTH ONSITE AND ANY HAUL TO/FROM LOCATIONS.

NOTE:
THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
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BRANCHED OUT PLAZA

CONSTRUCTION PLANS, CITY OF RAYMORE, CASS COUNTY, MISSOURI

HIBNER ACRES

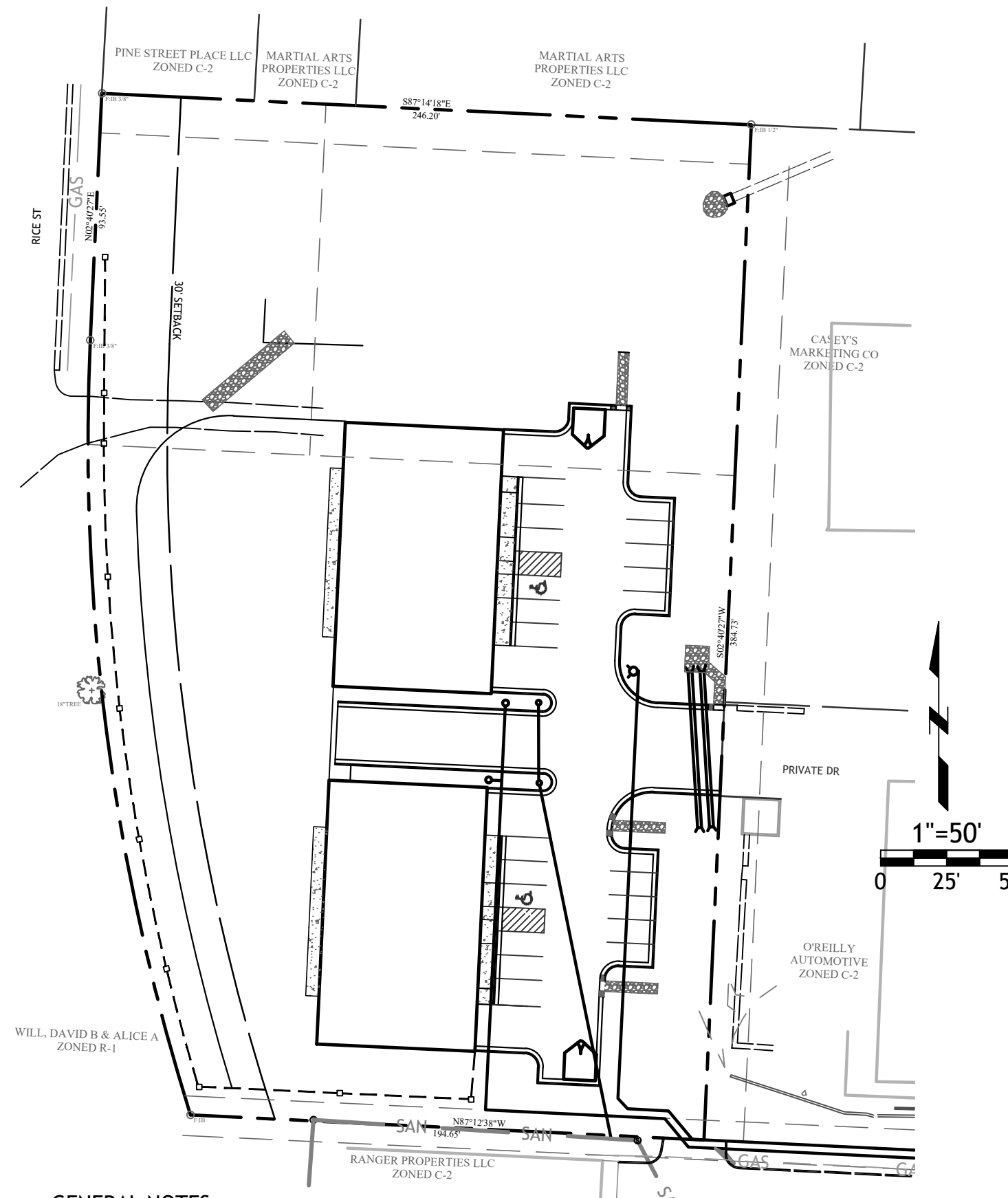
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Everygy	800-245-5275
KCPL Business Office	816-221-2323
Southern Star Central Gas	913-310-7615
Comcast	866-771-2281
Spire	816-537-4681
Raymore Engineering Department	816-331-1852
Missouri One Call	1-800-Dig-Rite
Water/Sanitary City of Raymore	816-331-2377

THE PURPOSE OF THESE PLANS IS TO DETAIL THE PROPOSED SITE IMPROVEMENTS NECESSARY TO CONSTRUCT TWO STRIP OFFICE BUILDINGS PARKING AND RELATED IMPROVEMENTS.



- GENERAL NOTES**
1. THE PERIMETER SURVEY AND TOPOGRAPHIC SURVEY SHOWN ON THIS SITE PLAN WAS TAKEN FROM A PERIMETER SURVEY PREPARED BY MIKE HUFFMAN AND SEALED BY MO PLS MIKE HUFFMAN.
 2. ACCORDING TO FIRM PANEL 29037C0037F, DATED JANUARY 1, 2013, THE PROPERTY IS LOCATED IN FLOOD ZONE X. "AREA OF MINIMAL FLOOD HAZARD".
 3. THE PROPERTY IS ZONED "C-2" PER RAYMORE UNIFIED DEVELOPMENT ORDINANCE.
 SETBACKS:
 FRONT 30', REAR 20', SIDE 10'
 MAXIMUM HEIGHT 80'
 4. PUBLIC WATER TO BE PROVIDED BY CITY OF RAYMORE.
 5. PUBLIC SANITARY SEWER TO BE PROVIDED BY THE CITY OF RAYMORE.
 6. EXISTING UTILITIES SHOWN ARE BASED UPON THE BEST AVAILABLE INFORMATION. PLEASE CALL MO ONE CALL 800-DIG-RITE PRIOR TO ANY EARTH DISTURBING ACTIVITIES
 7. ALL PROPOSED LIGHTING WILL BE IN ACCORDANCE WITH SITE LIGHTING PLAN AND THE CITY OF RAYMORE'S UNIFIED DEVELOPMENT CODE.
 8. THERE ARE NO KNOWN ENVIRONMENTALLY SENSITIVE LANDS ON-SITE OR WITHIN FIVE- HUNDRED (500) FEET OF THE SITE INCLUDING BUT NOT LIMITED TO WETLANDS, HABITAT AREAS, HILLSIDES, STEEP SLOPES, LAKES, TREADED OR FORESTED AREAS, BROWNFIELD SITES AND STREAMS AND STREAM CORRIDORS WHICH COULD BE AFFECTED BY THIS DEVELOPMENT.
 9. PER THE REPEAT OF HIBNER ACRES LOTS 1-5 NO ACCESS TO RICE STREET SHALL BE ESTABLISHED SO LONG AS THE PROPERTY REMAINS COMMERCIAL ZONED REFERENCE (BOOK 18 & PAGE 80)
 10. ANY EXTERIOR MECHANICAL EQUIPMENT WILL BE SCREENED IN ACCORDANCE WITH UDC 430.120
 11. OUTDOOR STORAGE OF MATERIALS MERCHANDISE OR DEBRIS IS PROHIBITED. OUTDOOR STORAGE OF VEHICLES OR EQUIPMENT SHALL BE LIMITED TO BUSINESSES LICENSED AT THE DEVELOPMENT.
 12. A MEMORANDUM OF UNDERSTANDING (MOU) DATED JUNE 9, 2025 BETWEEN THE CITY OF RAYMORE AND THE OWNER REMAINS IN FULL FORCE AND EFFECT. ALL TERMS AND CONDITIONS OF SAID MOU ARE BINDING UPON THIS SITE PLAN AND THE ASSOCIATED SITE PLAN APPLICATION. APPROVAL OF THIS SITE PLAN SHALL NOT BE CONSTRUED AS AN AMENDMENT OR MODIFICATION OF THE MOU.
 13. DUMPSTER ENCLOSURES SHALL BE INSTALLED AT THE LOCATIONS INDICATED AND BUILT PER THE ENCLOSURE DETAIL PROVIDED HEREIN. EXTERIOR COLORS AND FINISHED SHALL BE SELECTED BY THE BUILDING ARCHITECT TO MATCH THE ARCHITECTURAL PALETTE OF THE DEVELOPMENT.
 14. NO STANDALONE SIGNS ARE PROPOSED. ANY FUTURE BUILDING OR ROOF SIGNS MUST BE SUBMITTED FOR REVIEW AND APPROVED BY THE CITY OF RAYMORE PLANNING COMMISSION.
 15. IF A GATE IS INSTALLED BETWEEN THE TWO BUILDINGS, THE LOCATION AND TYPE OF KNOX BOX SHALL BE COORDINATED WITH THE CITY FIRE PROTECTION SPECIALIST PRIOR TO GATE INSTALLATION.

OWNER'S CERTIFICATION

I HEREBY CERTIFY THAT I AM THE LEGAL REPRESENTATIVE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE DEVELOPED IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

MIKE BLYTHE _____ DATE _____

ENGINEER'S CERTIFICATION

I, THOMAS R. BARTOSIEWICZ, P.E. HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF MISSOURI, AND THAT THE INFORMATION SHOWN ON SHEETS 1-7 HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF MISSOURI.

THOMAS R. BARTOSIEWICZ, P.E. _____ DATE: _____

BASIS OF BEARINGS:

MISSOURI COORDINATE SYSTEM OF 1983 WEST ZONE

SITE DATA

EXISTING ZONING	C-2 GENERAL COMMERCIAL
PROPOSED ZONING	C-2P GENERAL COMMERCIAL PLANNED
TOTAL SITE	89,755sf (2.06ac)
TOTAL BUILDING	12,000sf
TOTAL PAVEMENT	18,443sf
TOTAL GRAVEL	9,389sf
TOTAL OPEN SPACE	49,923sf = 0.56%
PARKING STALLS	22

LEGAL DESCRIPTION:

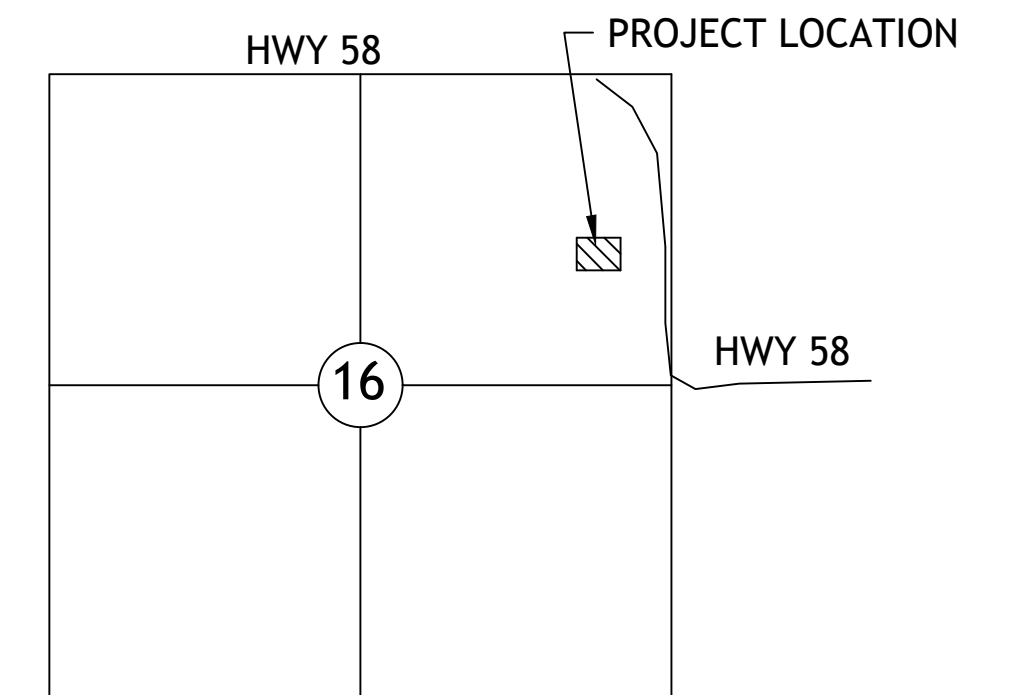
LOT 18, HIBNER ACRES, RAYMORE, CASS COUNTY, MISSOURI

NOTES:

ACCESS WAYS WITHIN THIS SITE PLAN ARE TO BE PRIVATE AND ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THESE PLANS.

CONTOUR ELEVATIONS BASED ON NORTH AMERICAN DATUM OF 1983 (NAD83).

LOCATION AND SIZE OF STORMWATER FACILITIES IS EXISTING AS SHOWN.



SECTION MAP
SEC. 15 TW. 46 RNG. 32

INDEX OF SHEETS

1. COVER SHEET
2. SITE PLAN
3. UTILITY PLAN
- 3.1 FIRE LINE PLAN AND PROFILE
4. GRADING PLAN
5. EROSION CONTROL PLAN
6. LANDSCAPE PLAN
7. DETAILS
8. DETAILS
9. DETAILS
10. DETAILS
11. DETAILS

DEVELOPER:

BRANCHED OUT GUTTER, LLC
 MIKE BLYTHE
 12309 S BURR OAK CIRCLE
 PECULIAR, MO 64078
 816-723-9727

SURVEYOR

HUFFMAN & ASSOCIATES
 16112 SLATER AVE
 BELTON, MO 64012
 (816) 322-4544

ENGINEER

SITE CONSULTING ENGINEERS, LLC
 200 MISSOURI ROAD, SUITE 200
 LEE'S SUMMIT, MO 64086
 (913) 515-7209

SHEET TITLE:
COVER SHEET

PROJECT:
BRANCHED OUT PLAZA

PREPARED FOR:
BRANCHED OUT GUTTERS, LLC

TAX MAP No.: 04-05-16-100-007-031.001

SEC,TWP,RNG: 16-46-32

COUNTY: CASS

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8-5-25	CITY COMMENTS	TB	
DATE	REVISION	CHKD.	
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		PROJECT No.:	SHEET No.: 1



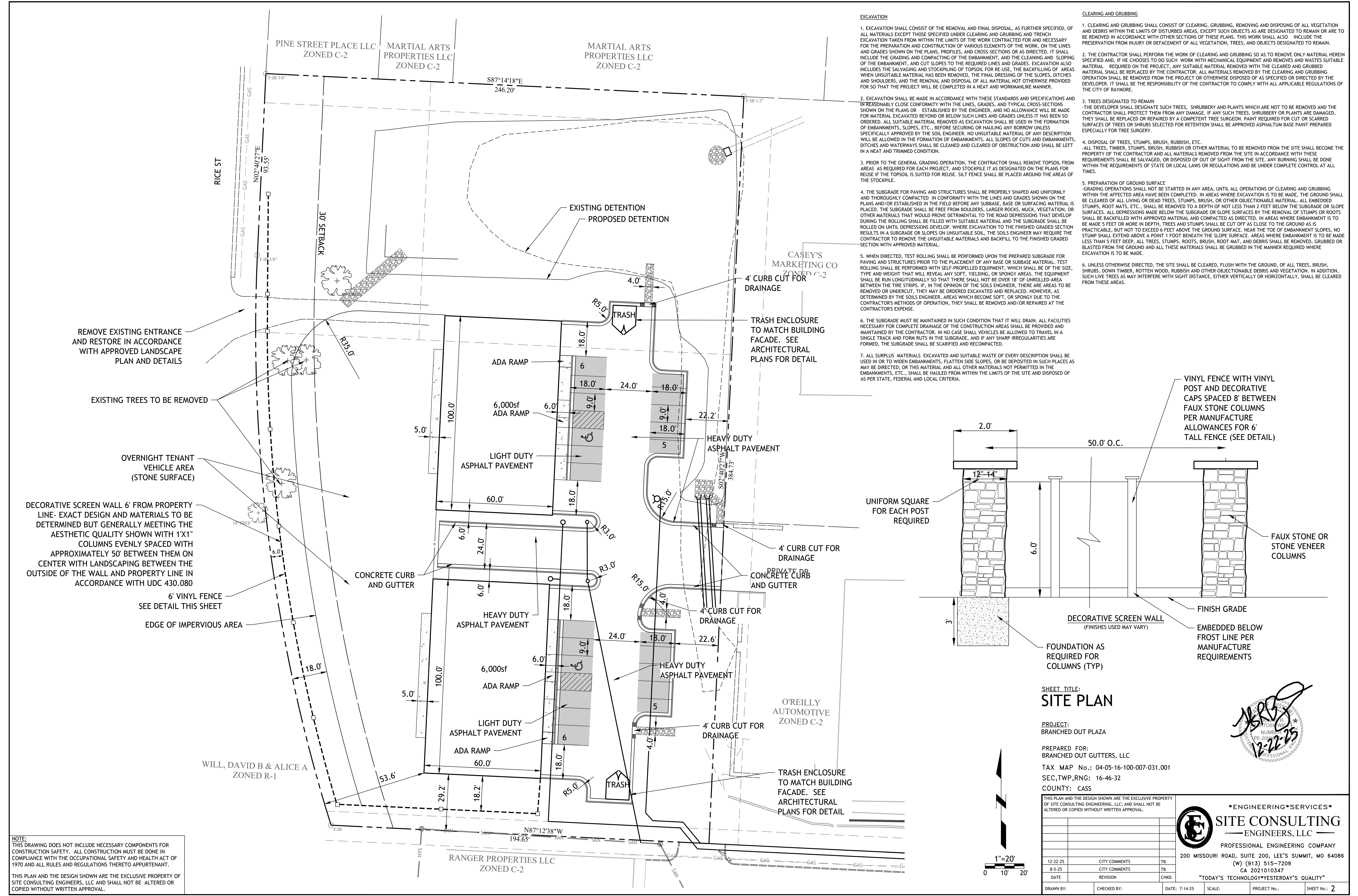
ENGINEERING*SERVICES

SITE CONSULTING ENGINEERS, LLC

PROFESSIONAL ENGINEERING COMPANY

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 (W) (913) 515-7209
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EXCAVATION

- EXCAVATION SHALL CONSIST OF THE REMOVAL AND FINAL DISPOSAL, AS FURTHER SPECIFIED, OF ALL MATERIALS EXCEPT THOSE SPECIFIED UNDER CLEARING AND GRUBBING AND TRENCH EXCAVATION TAKEN FROM WITHIN THE LIMITS OF THE WORK CONTRACTED FOR AND NECESSARY FOR THE PREPARATION AND CONSTRUCTION OF VARIOUS ELEMENTS OF THE WORK, ON THE LINES AND GRADES SHOWN ON THE PLANS, PROFILES, AND CROSS-SECTIONS OR AS DIRECTED. IT SHALL INCLUDE THE GRADING AND COMPACTING OF THE EMBANKMENT, AND THE CLEANING AND SLOPING OF THE EMBANKMENT, AND CUT SLOPES TO THE REQUIRED LINES AND GRADES. EXCAVATION ALSO INCLUDES THE SALVAGING AND STOCKPILING OF TOPSOIL FOR REUSE. THE BACKFILLING OF AREAS WHEN UNSUITABLE MATERIAL HAS BEEN REMOVED, THE FINAL DRESSING OF THE SLOPES, DITCHES AND SHOULDERS, AND THE REMOVAL AND DISPOSAL OF ALL MATERIAL NOT OTHERWISE PROVIDED FOR SO THAT THE PROJECT WILL BE COMPLETED IN A NEAT AND WORKMANLIKE MANNER.
- EXCAVATION SHALL BE MADE IN ACCORDANCE WITH THESE STANDARDS AND SPECIFICATIONS AND IN REASONABLY CLOSE CONFORMITY WITH THE LINES, GRADES, AND TYPICAL CROSS-SECTIONS SHOWN ON THE PLANS OR ESTABLISHED BY THE ENGINEER, AND NO ALLOWANCE WILL BE MADE FOR MATERIAL EXCAVATED BEYOND OR BELOW SUCH LINES AND GRADES UNLESS IT HAS BEEN SO ORDERED. ALL SUITABLE MATERIAL REMOVED AS EXCAVATION SHALL BE USED IN THE FORMATION OF EMBANKMENTS, SLOPES, ETC., BEFORE SECURING OR HAULING ANY BORROW UNLESS SPECIFICALLY APPROVED BY THE SOILS ENGINEER. NO UNSUITABLE MATERIAL OF ANY DESCRIPTION WILL BE ALLOWED IN THE FORMATION OF EMBANKMENTS. ALL SLOPES OF CUTS AND EMBANKMENTS, DITCHES AND WATERWAYS SHALL BE CLEANED AND CLEARED OF OBSTRUCTION AND SHALL BE LEFT IN A NEAT AND TRIMMED CONDITION.
- PRIOR TO THE GENERAL GRADING OPERATION, THE CONTRACTOR SHALL REMOVE TOPSOIL FROM AREAS AS REQUIRED FOR EACH PROJECT, AND STOCKPILE IT AS DESIGNATED ON THE PLANS FOR REUSE IF THE TOPSOIL IS SUITED FOR REUSE. SILT FENCE SHALL BE PLACED AROUND THE AREAS OF THE STOCKPILE.
- THE SUBGRADE FOR PAVING AND STRUCTURES SHALL BE PROPERLY SHAPED AND UNIFORMLY AND THOROUGHLY COMPACTED IN CONFORMITY WITH THE LINES AND GRADES SHOWN ON THE PLANS AND/OR ESTABLISHED IN THE FIELD BEFORE ANY SUBBASE, BASE OR SURFACING MATERIAL IS PLACED. THE SUBGRADE SHALL BE FREE FROM BOULDERS, LARGER ROCKS, MUCK, VEGETATION, OR OTHER MATERIALS THAT WOULD PROVE DETRIMENTAL TO THE ROAD DEPRESSIONS THAT DEVELOP DURING THE ROLLING SHALL BE FILLED WITH SUITABLE MATERIAL AND THE SUBGRADE SHALL BE ROLLED ON UNTIL DEPRESSIONS DEVELOP. WHERE EXCAVATION TO THE FINISHED GRADED SECTION RESULTS IN A SUBGRADE OR SLOPES ON UNSUITABLE SOIL, THE SOILS ENGINEER MAY REQUIRE THE CONTRACTOR TO REMOVE THE UNSUITABLE MATERIAL AND BACKFILL TO THE FINISHED GRADED SECTION WITH APPROVED MATERIAL.
- WHEN DIRECTED, TEST ROLLING SHALL BE PERFORMED UPON THE PREPARED SUBGRADE FOR PAVING AND STRUCTURES PRIOR TO THE PLACEMENT OF ANY BASE OR SUBBASE MATERIAL. TEST ROLLING SHALL BE PERFORMED WITH SELF-PROPELLED EQUIPMENT, WHICH SHALL BE OF THE SIZE, TYPE AND WEIGHT THAT WILL REVEAL ANY SOFT, YIELDING, OR SPONGY AREAS. THE EQUIPMENT SHALL BE RUN LONGITUDINALLY SO THAT THERE SHALL NOT BE OVER 18" OF UNROLLED AREA BETWEEN THE TIRE STRIPS. IF, IN THE OPINION OF THE SOILS ENGINEER, THERE ARE AREAS TO BE REMOVED OR UNDERCUT, THEY MAY BE ORDERED EXCAVATED AND REPLACED. HOWEVER, AS DETERMINED BY THE SOILS ENGINEER, AREAS WHICH BECOME SOFT, OR SPONGY DUE TO THE CONTRACTOR'S METHODS OF OPERATION, THEY SHALL BE REMOVED AND/OR REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE SUBGRADE MUST BE MAINTAINED IN SUCH CONDITION THAT IT WILL DRAIN. ALL FACILITIES NECESSARY FOR COMPLETE DRAINAGE OF THE CONSTRUCTION AREAS SHALL BE PROVIDED AND MAINTAINED BY THE CONTRACTOR. IN NO CASE SHALL VEHICLES BE ALLOWED TO TRAVEL IN A SINGLE TRACK AND FORM RUTS IN THE SUBGRADE, AND IF ANY SHARP IRREGULARITIES ARE FORMED, THE SUBGRADE SHALL BE SCARIFIED AND RECOMPACTED.
- ALL SURPLUS MATERIALS EXCAVATED AND SUITABLE WASTE OF EVERY DESCRIPTION SHALL BE USED IN OR TO WIDEN EMBANKMENTS, FLATTEN SLOPES, OR BE DEPOSITED IN SUCH PLACES AS MAY BE DIRECTED; OR THIS MATERIAL AND ALL OTHER MATERIALS NOT PERMITTED IN THE EMBANKMENTS, ETC., SHALL BE HAULED FROM WITHIN THE LIMITS OF THE SITE AND DISPOSED OF AS PER STATE, FEDERAL AND LOCAL CRITERIA.

CLEARING AND GRUBBING

- CLEARING AND GRUBBING SHALL CONSIST OF CLEARING, GRUBBING, REMOVING AND DISPOSING OF ALL VEGETATION AND DEBRIS WITHIN THE LIMITS OF DISTURBED AREAS, EXCEPT SUCH OBJECTS AS ARE DESIGNATED TO REMAIN OR ARE TO BE REMOVED IN ACCORDANCE WITH OTHER SECTIONS OF THESE PLANS. THIS WORK SHALL ALSO INCLUDE THE PRESERVATION FROM INJURY OR DEFAUCATION OF ALL VEGETATION, TREES, AND OBJECTS DESIGNATED TO REMAIN.
- THE CONTRACTOR SHALL PERFORM THE WORK OF CLEARING AND GRUBBING SO AS TO REMOVE ONLY MATERIAL HEREIN SPECIFIED AND, IF HE CHOOSES TO DO SUCH WORK WITH MECHANICAL EQUIPMENT AND REMOVES AND WASTES SUITABLE MATERIAL. REQUIRED ON THE PROJECT, ANY SUITABLE MATERIAL REMOVED WITH THE CLEARED AND GRUBBED MATERIAL SHALL BE REPLACED BY THE CONTRACTOR. ALL MATERIALS REMOVED BY THE CLEARING AND GRUBBING OPERATION SHALL BE REMOVED FROM THE PROJECT OR OTHERWISE DISPOSED OF AS SPECIFIED OR DIRECTED BY THE DEVELOPER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH ALL APPLICABLE REGULATIONS OF THE CITY OF RAYMORE.
- TREES DESIGNATED TO REMAIN - THE DEVELOPER SHALL DESIGNATE SUCH TREES, SHRUBBERY AND PLANTS WHICH ARE NOT TO BE REMOVED AND THE CONTRACTOR SHALL PROTECT THEM FROM ANY DAMAGE. IF ANY SUCH TREES, SHRUBBERY OR PLANTS ARE DAMAGED, THEY SHALL BE REPLACED OR REPAIRED BY A COMPETENT TREE SURGEON. PAINT REQUIRED FOR CUT OR SCARRED SURFACES OF TREES OR SHRUBS SELECTED FOR RETENTION SHALL BE APPROVED ASPHALTUM BASE PAINT PREPARED SPECIALLY FOR TREE SURGERY.
- DISPOSAL OF TREES, STUMPS, BRUSH, RUBBISH, ETC. - ALL TREES, TIMBER, STUMPS, BRUSH, RUBBISH OR OTHER MATERIAL TO BE REMOVED FROM THE SITE SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND ALL MATERIALS REMOVED FROM THE SITE IN ACCORDANCE WITH THESE REQUIREMENTS SHALL BE SALVAGED, OR DISPOSED OF OUT OF SIGHT FROM THE SITE. ANY BURNING SHALL BE DONE WITHIN THE REQUIREMENTS OF STATE OR LOCAL LAWS OR REGULATIONS AND BE UNDER COMPLETE CONTROL AT ALL TIMES.
- PREPARATION OF GROUND SURFACE - GRADING OPERATIONS SHALL NOT BE STARTED IN ANY AREA, UNTIL ALL OPERATIONS OF CLEARING AND GRUBBING WITHIN THE AFFECTED AREA HAVE BEEN COMPLETED. IN AREAS WHERE EXCAVATION IS TO BE MADE, THE GROUND SHALL BE CLEARED OF ALL LIVING OR DEAD TREES, STUMPS, BRUSH, OR OTHER OBJECTIONABLE MATERIAL. ALL EMBEDDED STUMPS, ROOT MATS, ETC., SHALL BE REMOVED TO A DEPTH OF NOT LESS THAN 2 FEET BELOW THE SUBGRADE OR SLOPE SURFACES. ALL DEPRESSIONS MADE BELOW THE SUBGRADE OR SLOPE SURFACES BY THE REMOVAL OF STUMPS OR ROOTS SHALL BE BACKFILLED WITH APPROVED MATERIAL AND COMPACTED AS DIRECTED. IN AREAS WHERE EMBANKMENT IS TO BE MADE 5 FEET OR MORE IN DEPTH, TREES AND STUMPS SHALL BE CUT OFF AS CLOSE TO THE GROUND AS IS PRACTICABLE, BUT NOT TO EXCEED 6 FEET ABOVE THE GROUND SURFACE. NEAR THE TOE OF EMBANKMENT SLOPES, NO STUMP SHALL EXTEND ABOVE A POINT 1 FOOT BENEATH THE SLOPE SURFACE. AREAS WHERE EMBANKMENT IS TO BE MADE LESS THAN 5 FEET DEEP, ALL TREES, STUMPS, ROOTS, BRUSH, ROOT MAT, AND DEBRIS SHALL BE REMOVED, GRUBBED OR BLASTED FROM THE GROUND AND ALL THESE MATERIALS SHALL BE GRUBBED IN THE MANNER REQUIRED WHERE EXCAVATION IS TO BE MADE.
- UNLESS OTHERWISE DIRECTED, THE SITE SHALL BE CLEARED, FLUSH WITH THE GROUND, OF ALL TREES, BRUSH, SHRUBS, DOWN TIMBER, ROTTEN WOOD, RUBBISH AND OTHER OBJECTIONABLE DEBRIS AND VEGETATION. IN ADDITION, SUCH LIVE TREES AS MAY INTERFERE WITH SIGHT DISTANCE, EITHER VERTICALLY OR HORIZONTALLY, SHALL BE CLEARED FROM THESE AREAS.

SHEET TITLE: SITE PLAN

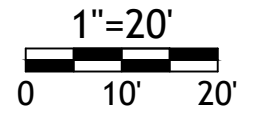
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 PREPARED FOR: BRANCHED OUT GUTTERS, LLC
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 SEC,TWP,RNG: 16-46-32
 COUNTY: CASS

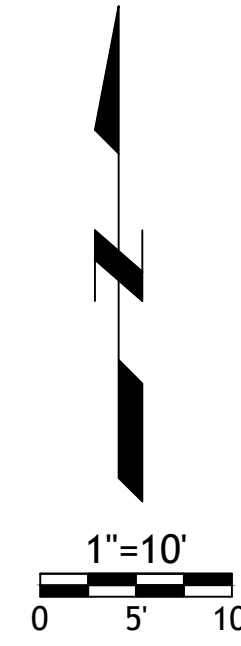
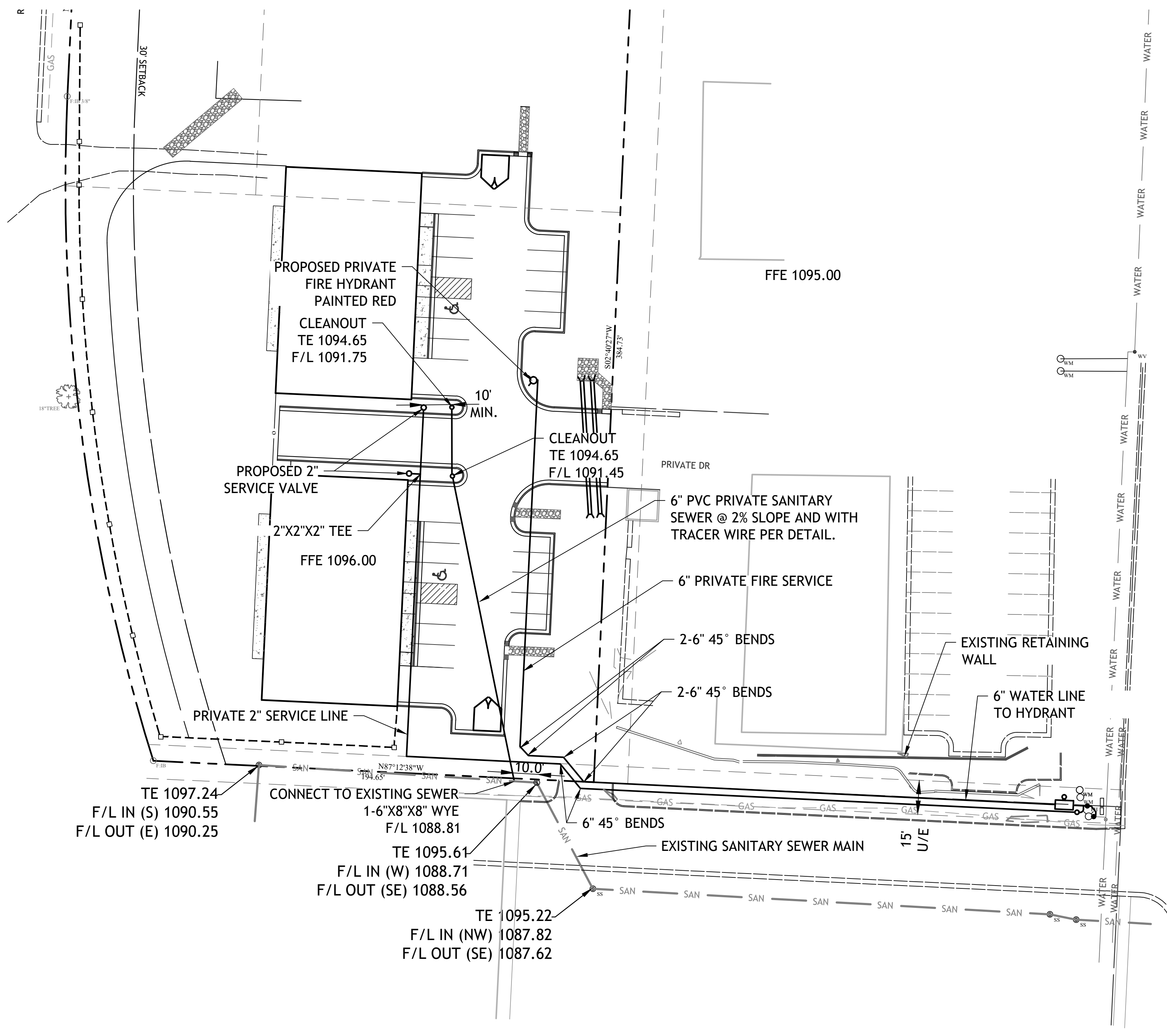
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8-5-25	CITY COMMENTS	TB

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NOTE: THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERETO APPURTENANT. THIS PLAN AND THE DESIGN SHOWN ARE THE EXCLUSIVE PROPERTY OF SITE CONSULTING ENGINEERS, LLC AND SHALL NOT BE ALTERED OR COPIED WITHOUT WRITTEN APPROVAL.





NOTE
CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO INITIATING CONSTRUCTION. BOTH HORIZONTAL AND DEPTH OF UTILITIES AND REPORT ANY DISCREPANCY TO ENGINEER FOR REVIEW.

- GENERAL NOTES:**
- 1) ALL WATER MAINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF RAYMORE UTILITIES CONSTRUCTION SPECIFICATIONS AND ALL AMENDMENTS THERETO.
 - 2) INSTALL PIPE AROUND BENDS PER MANUFACTURERS RECOMMENDATIONS
 - 3) IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO OBTAIN THE APPROVAL AND THE ACCEPTANCE OF THE WATER MAINS BY CITY OF RAYMORE, AND THE DEPARTMENT OF PUBLIC HEALTH, OFFICE OF DRINKING WATER IF REQUIRED UPON COMPLETION OF CONSTRUCTION.
 - 4) EXISTING UTILITIES ARE IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT UTILITY ONE CALL AT 1-800-DG-RITE (3) THREE DAYS PRIOR TO CONSTRUCTION IN ORDER TO VERIFY AND ALLOW FOR THEIR LOCATION AND DEPTH IN THE FIELD.
 - 5) CONTRACTOR SHALL DEPRESS WATER LINE AS REQUIRED WITH APPROVED FITTINGS TO AVOID CONFLICTS WITH STORM SEWERS, CULVERTS AND SANITARY PLANS.
 - 6) THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY AND ALL DAMAGES DONE TO THEM DUE TO THEIR NEGLIGENCE SHALL BE IMMEDIATELY AND COMPETENTLY REPAIRED AT THEIR EXPENSE.
 - 7) ALL NECESSARY PERMITS, LICENSES, INSURANCE, ETC. REQUIRED BY LOCAL, STATE, OR FEDERAL LAWS SHALL BE PROVIDED BY THE CONTRACTOR.
 - 8) PLAN LOCATION AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
 - 9) THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF DAMAGED OR DESTROYED LANDSCAPE.
 - 10) ALL INSTALLATIONS SHALL USE PRESSURE WATER PIPE CLASS 150 (SDR-18) C-900 AWWA APPROVED FURNISHED IN 20 FOOT LENGTHS WITH INTEGRAL BELLS OR AS INDICATED ON THE CONTRACT DRAWINGS. ALL PIPE MUST BE NSF-PW APPROVED. WHERE REQUIRED, HIGH DEFLECTION COUPLINGS SHALL BE USED.
 - 11) ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE MISSOURI STATE FIRE PREVENTION REGULATIONS.
 - 12) CONTRACTOR TO FIELD VERIFY EXISTING HYDRANT LOCATION AND CORRECT SPACING OF PROPOSED FIRE HYDRANTS.
 - 13) CITY OF RAYMORE SHALL BE RESPONSIBLE FOR PROVIDING FLOW TEST DATA TO THE STATE FIRE MARSHAL. FLOW TEST SHALL HAVE BEEN PERFORMED WITHIN THE PAST YEAR.
 - 14) ALL FITTINGS TO BE MJ WITH RETAINER GLANDS.
 - 15) IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO SUBMIT (UPON COMPLETION OF INSTALLATION OF WATER DISTRIBUTION SYSTEMS) AS-BUILT DRAWINGS TO CITY OF RAYMORE IN DRAWING FORMAT ON A REMOVABLE DRIVE.
 - 16) IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO SUBMIT (UPON COMPLETION OF INSTALLATION OF THE WATER DISTRIBUTION SYSTEMS) AS-BUILT DRAWINGS INCLUDING PROFILES TO THE DEPARTMENT OF PUBLIC HEALTH, OFFICE OF DRINKING WATER, IF REQUIRED.
 - 17) ALL PROPOSED FIRE HYDRANTS TO BE B-62-B, UNLESS OTHERWISE SPECIFIED.
 - 18) HYDRANT LOCATION SHOWN CAN BE MODIFIED AT THE DISCRETION OF THE CITY OF RAYMORE (TO LOCATION B) AT THE EXPENSE OF THE DEVELOPER.

- CONSTRUCTION METHODS**
1. ALL SEWER MAINS AND APPURTENANCES SHALL BE INSTALLED AND PLACED INTO SERVICE IN CONFORMANCE WITH ASTM D2321. THE MANUFACTURERS RECOMMENDATIONS AND THE RECOMMEND STANDARDS FOR SEWAGE WORK, "10 STATE STANDARDS" LATEST EDITION.
 2. MAINTAIN MINIMUM 10 FOOT HORIZONTAL AND 18 INCH VERTICAL SEPARATION BETWEEN ALL CONCRETE ENCASEMENT 10 FEET EITHER SIDE OF WATER MAIN, OR WATER SERVICE.
 3. DETECTION AND WARNING TAPE SHALL BE PLACED BETWEEN 18 INCHES AND 24 INCHES ABOVE THE FORCE MAIN WHEN PVC PIPE IS BEING INSTALLED. AT NO TIME SHALL IT BE PLACED AT A DEPTH LESS THAN 6 INCHES. DETECTION AND WARNING TAPE SHALL BE OF THE METALLIC TYPE WITH METAL FOIL RUNNING THE FULL LENGTH AND WIDTHS. FOIL SHALL BE ENHANCED IN A HIGH VISIBILITY, COLOR CODED, INSERT PLASTIC JACKET WITH CONTINUOUS IDENTIFICATION LEGENDS CLEARLY IMPRINTED ON IT. FOR SEWER SYSTEMS THE COLOR SHALL BE "SAFETY PRECAUTION GREEN" WITH THE LEGEND READING "CAUTION BURIED SEWER LINE BELOW".
 4. TRENCHES SHALL BE EXCAVATED TO THE NECESSARY WIDTH AND DEPTH AND MUST BE DRY DURING PIPE PLACEMENT AND BACKFILL SHALL BE THE MATERIAL EXCAVATED. PROVIDED IT IS FREE OF ORGANIC MATTER, HEAVY CLAY, DEBRIS, ETC.. THE BACKFILL IS TO BE ROCK BEDDING ABOVE AND BELOW PIPE AND BE HAND TAMPED. TO AT LEAST 12 INCHES ABOVE THE TOP OF THE PIPE AND SHALL BE MECHANICALLY TAMPED IN 8 INCH LIFTS TO FINISHED GRADE. EACH LIFT SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR DENSITY.
 5. IT IS INTENDED THAT EXCAVATED MATERIAL BE USED FOR BACKFILL. IN THE EVENT REQUIRED COMPACTING CANNOT BE ACHIEVED OR THE MATERIAL IS UNSUITABLE IN OTHER RESPECTS, SLUMPS, TRASH, ECT. THE BACKFILL MATERIAL WILL BE SUITABLY PROVIDED FROM OFF-SITE SOURCES, AT NO ADDITIONAL COST.
 6. PAVED AREAS DISTURBED OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED EQUAL OR BETER THAN THAT DISTURBED.
 7. REPLACE ALL SIGNS, MAIL BOXES, ECT. THAT ARE REMOVED DURING CONSTRUCTION.
 8. TRACER WIRE TO BE TWELVE GAUGE MINIMUM SOLID COPPER WITH THERMOPLASTIC INSULATION RECOMMENDED FOR DIRECT BURIAL. WIRE CONNECTORS TO BE 3M DBR, OR APPROVED EQUAL, AND SHALL BE WATERTIGHT TO PROVIDE ELECTRICAL CONTINUITY. TRACER WIRE COLOR SHALL BE BLUE FOR ALL WATER CONSTRUCTION AND GREEN FOR ALL WASTEWATER CONSTRUCTION

- ACCEPTANCE TESTING**
1. ALL SEWERS ABOVE THE GROUNDWATER LINE SHALL BE TESTED BY THE EXFILTRATION METHOD. DURING EXFILTRATION TESTING THE MAXIMUM INTERNAL PIPE PRESSURE AT THE LOWEST END SHALL NOT BE EXCEED 25 FEET OF WATER. ALL SEWER BELOW THE GROUNDWATER LINE SHALL BE TESTED BY THE INFILTRATION METHOD. THE MAXIMUM ALLOWABLE LEAKAGE THE LOW PRESSURE AIR TEST MAY BE USED AS AN ALTERNATIVE METHOD ACCEPTANCE TEST. THE ENGINEER SHALL DETERMINE ACCEPTANCE CRITERIA FOR ALL TESTS.
 2. MANHOLES SHALL BE FREE FROM FOREIGN MATERIALS AND INFILTRATION. THE CONTRACTOR SHALL REPAIR TO THE FULL SATISFACTION OF THE ENGINEER ANY OBSERVED LEAKAGE IN THE MANHOLES.
 3. THE CONTRACTOR SHALL GUARANTEE THAT ALL WORKMANSHIP, MATERIALS, AND WORK PERFORMED UNDER THE CONTRACT, SHALL BE IN STRICT ACCORDANCE WITH THE DRAWING, SPECIFICATION AND OTHER CONTRACT DOCUMENTS. THIS GUARANTEE SHALL BE FOR A PERIOD OF ONE YEAR FROM AND AFTER DATE OF COMPLETION AND ACCEPTANCE OF THE WORK. THE CONTRACTOR SHALL REPAIR, CORRECT OR REPLACE AS REQUIRED, PROMPTLY AND WITHOUT CHARGE, ALL WORK, EQUIPMENT AND MATERIAL, OR PARTS THEREOF, WHICH FAIL TO BE GUARANTEE, OR WHICH IN ANY WAY FAIL TO COMPLY WITH OR FAIL TO BE IN STRICT ACCORDANCE WITH THE TERMS AND PROVISIONS AND REQUIREMENTS OF THE CONTRACT DURING SUCH ONE YEAR PERIOD.

FIRE MARSHAL NOTES:	
1. OWNER/DEVELOPER: BRANCHED OUT GUTTER, LLC 2309 S BURR OAK CIRCLE PECULIAR, MO 64078 816-723-9727	5. PROJECT NAME: HIBNER ACRES (AKA BRANCHED OUT GUTTERS)
2. CIVIL/SITE ENGINEER: SITE CONSULTING ENGINEERS, LLC 200 MISSOURI ROAD, SUITE 200 LEE'S SUMMIT, MO 64086 (913) 515-7209	6. INTENDED USE: GENERAL COMMERCIAL USE
3. APPLICANT: BRANCHED OUT GUTTER, LLC 2309 S BURR OAK CIRCLE PECULIAR, MO 64078 816-723-9727	7. WATER SUPPLIER: CITY OF RAYMORE
4. TAX MAP NUMBER: 04-05-16-100-007-031.001	8. MAX HEIGHT OF BUILDING: 80'
	9. BUILDING CONSTRUCTION TYPE: CONSTRUCTION
	10. SPRINKLER SYSTEM: PER CODE
	11. ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS

NOTE:
A LOCK BOX CONTAINING KEYS FOR FIRE DEPARTMENT ACCESS SHALL BE PROVIDED. THE LOCK BOX SHALL BE LISTED OR APPROVED BY THE STATE OR CITY FIRE MARSHAL FOR THE INTENDED USE AND INSTALLED IN SUCH A MANNER THAT THE FIRE DEPARTMENT WILL HAVE ACCESS TO THE BOX. CONTACT THE LOCAL FIRE CHIEF FOR ORDERING INFORMATION AND LOCATION OF BOX ON BUILDING. +

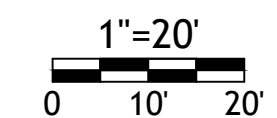
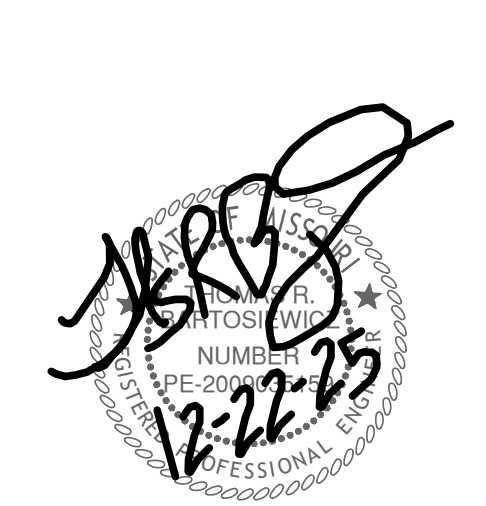
- SANITARY SEWER MATERIALS**
1. SANITARY SEWER PIPE SHALL BE PVC, SDR 26 WITH PUSH ON TYPE JOINTS USING FLEXIBLE ELASTOMERIC SEALS IN ACCORDANCE WITH MANUFACTURE'S RECOMMENDATION. FITTINGS SHALL BE OF THE SAME MATERIAL AS THE PIPE IN WHICH THEY ARE INSTALLED OR APPROVED EQUAL.
 2. MANHOLES SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 WITH O-RING JOINTS CONFORMING TO ASTM C443 AND C361. THE MANHOLES SHALL UTILIZE A-LOCK GASKETS OR EQUAL. CAST INTEGRALLY IN THE WALL AND LOCATED AS REQUIRED FOR SEWER PIPE CONNECTIONS. MANHOLE STEPS SHALL BE P5-48 POLYPROPYLENE. COAT ALL EXTERIOR MANHOLE SURFACES IN ACCORDANCE WITH TNEC SYSTEM 46-61 OR EQUAL.
 3. PRIOR TO PURCHASE OR INSTALLATION, THE CONTRACTOR SHALL SUBMIT IN A TIMELY MANNER SHOP DRAWING OF AT LEAST THE FOLLOWING ITEMS AND SYSTEMS TO THE ENGINEER FOR REVIEW.
 - A. PIPE AND FITTINGS
 - B. MANHOLES, FRAMES AND COVERS (IF REQUIRED)
 - C. DETECTION TAPE
 4. SELECT BORROW SHALL BE BORROW IN ACCORDANCE WITH MISSOURI STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
 5. CONCRETE SHALL BE CLASS A PORTLAND CEMENT CONCRETE, CONFORMING TO THE MATERIALS, DESIGN AND CONTROL REQUIREMENTS OF THE MISSOURI STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

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**SHEET TITLE:
UTILITY PLAN**

PROJECT:
BRANCHED OUT PLAZA

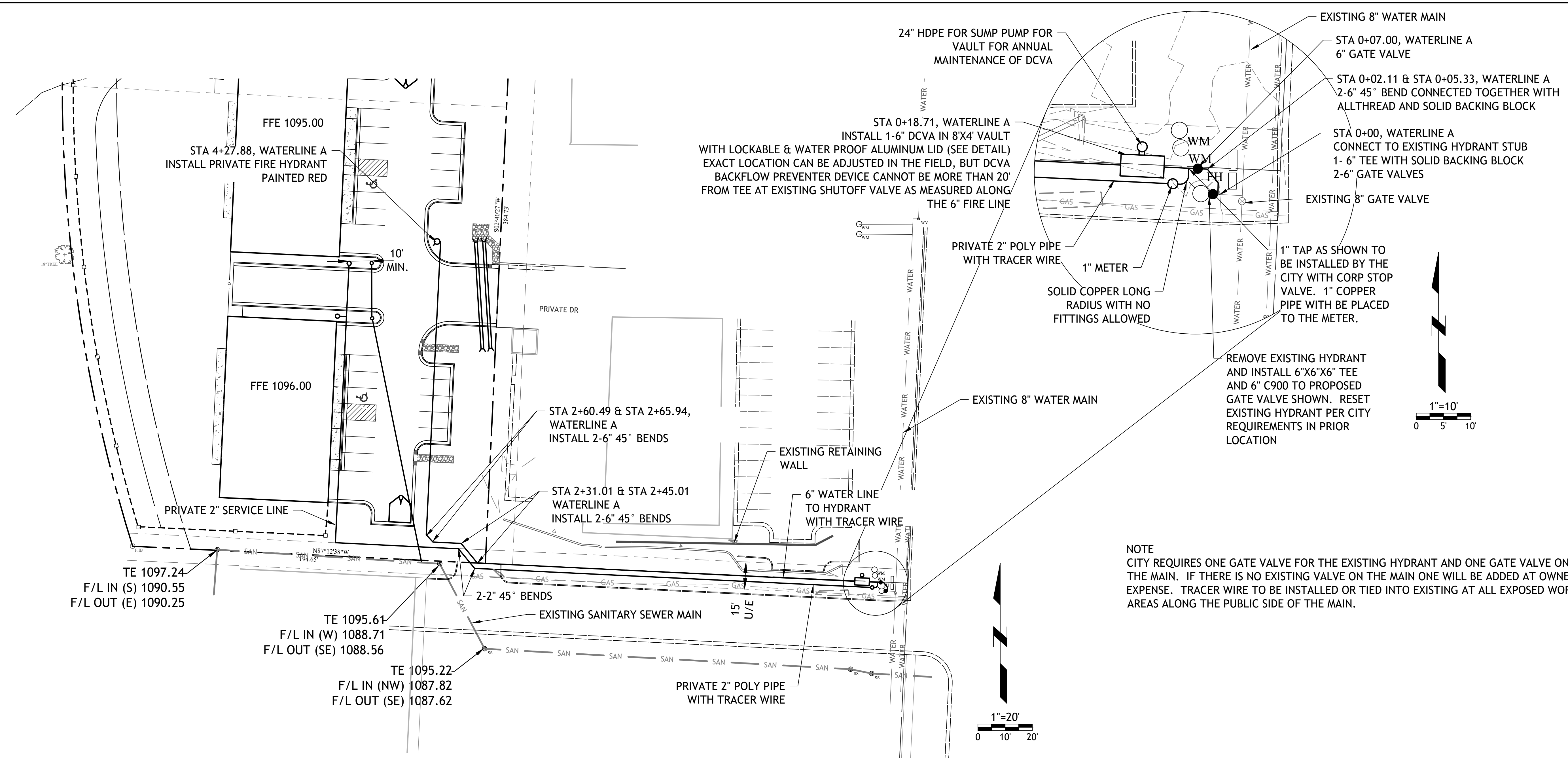
PREPARED FOR:
BRANCHED OUT GUTTERS, LLC
TAX MAP No.: 04-05-16-100-007-031.001
SEC,TWP,RNG: 16-46-32
COUNTY: CASS



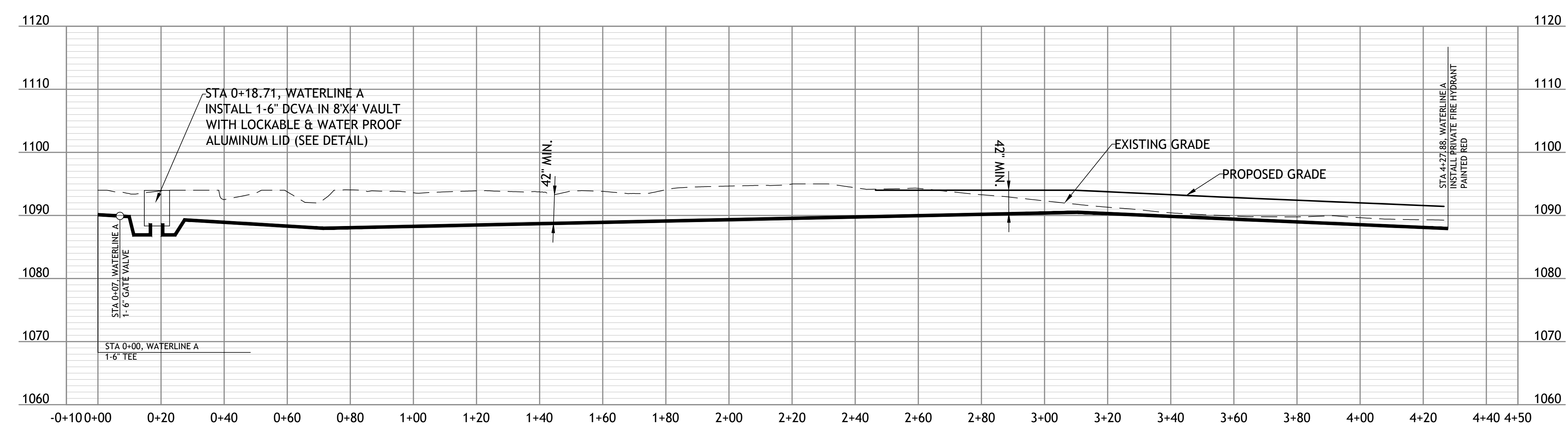
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12-22-25	CITY COMMENTS	TB
8-5-25	CITY COMMENTS	TB
DATE	REVISION	CHKD.
DRAWN BY:	CHECKED BY:	DATE: 7-14-25
		SCALE:
		PROJECT No.:
		SHEET No.: 3

ENGINEERING*SERVICES
SITE CONSULTING ENGINEERS, LLC
PROFESSIONAL ENGINEERING COMPANY
200 MISSOURI ROAD, SUITE 200, LEE'S SUMMIT, MO 64086
(W) (913) 515-7209
CA 2021010347
"TODAY'S TECHNOLOGY*YESTERDAY'S QUALITY"



NOTE
CITY REQUIRES ONE GATE VALVE FOR THE EXISTING HYDRANT AND ONE GATE VALVE ON THE MAIN. IF THERE IS NO EXISTING VALVE ON THE MAIN ONE WILL BE ADDED AT OWNERS EXPENSE. TRACER WIRE TO BE INSTALLED OR TIED INTO EXISTING AT ALL EXPOSED WORK AREAS ALONG THE PUBLIC SIDE OF THE MAIN.



SHEET TITLE:
FIRE LINE PLAN AND PROFILE

PROJECT:
BRANCHED OUT PLAZA

PREPARED FOR:
BRANCHED OUT GUTTERS, LLC

TAX MAP No.: 04-05-16-100-007-031.001

SEC,TWP,RNG: 16-46-32

COUNTY: CASS



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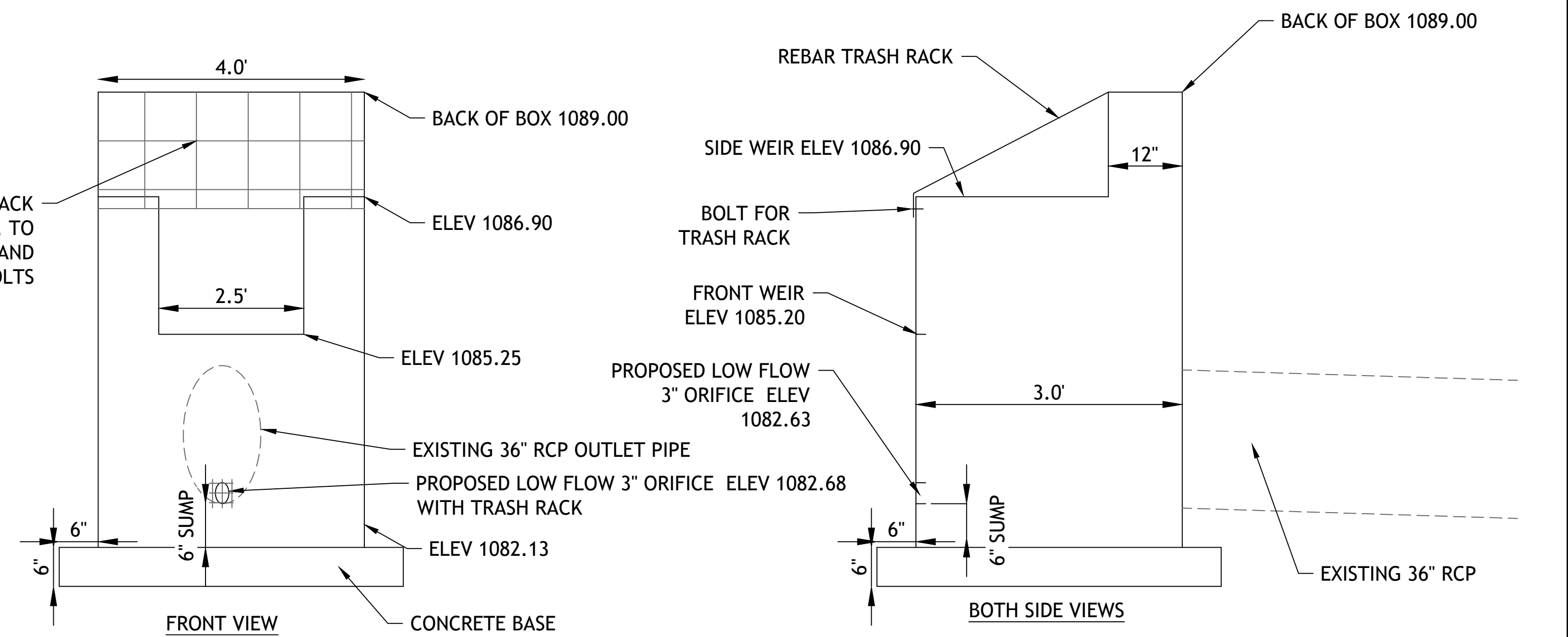
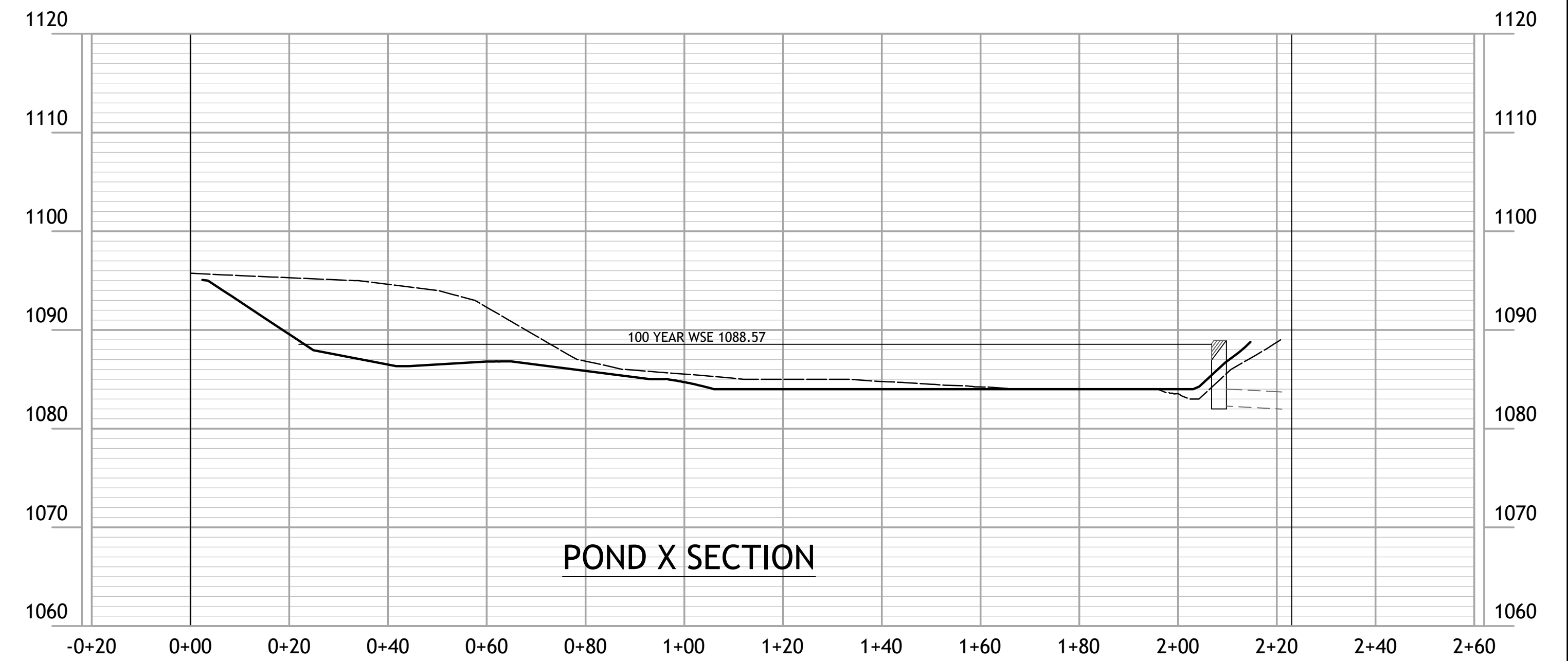
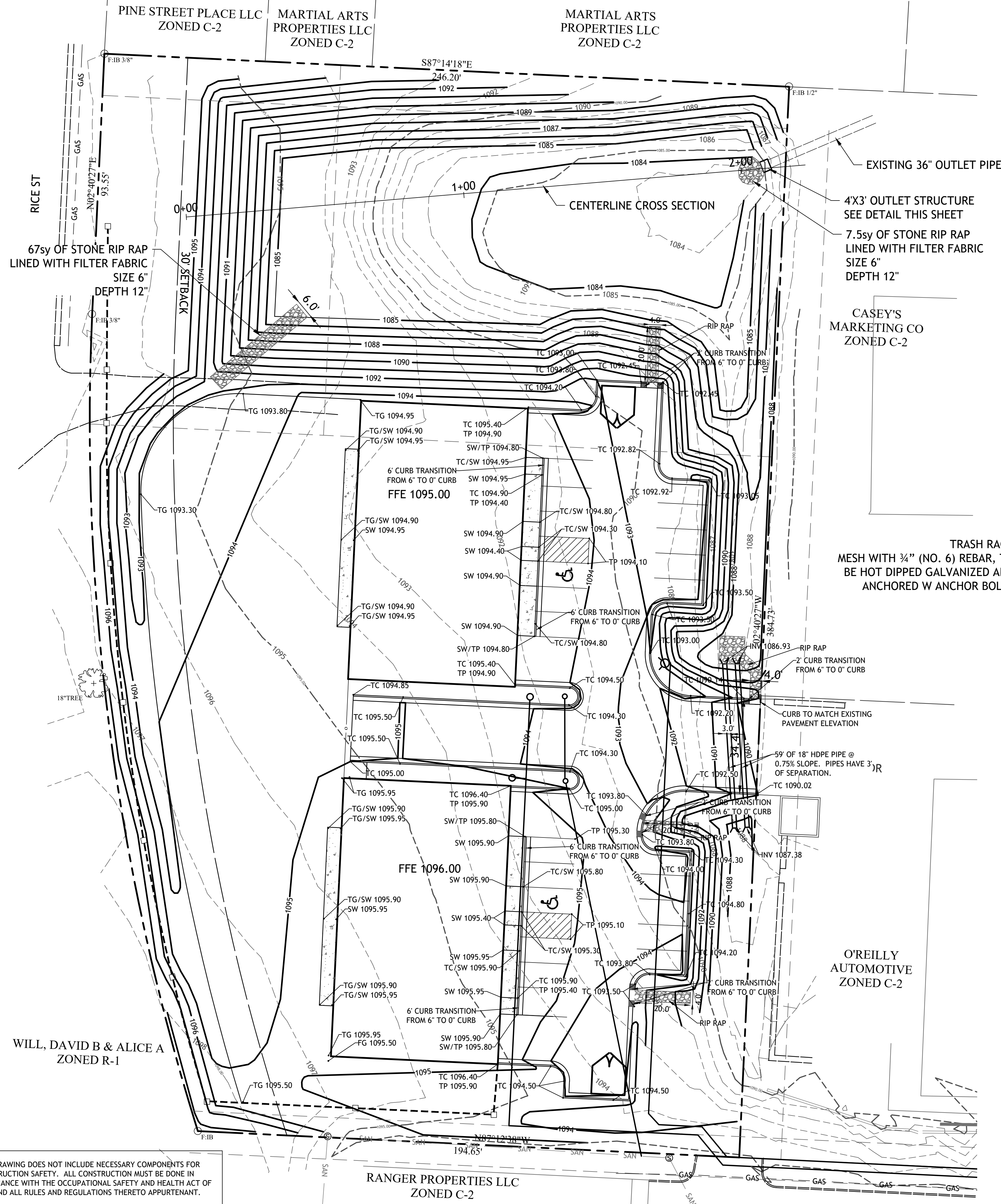
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		SCALE:
		PROJECT No.:
		SHEET No.: 3.1



- LEGEND**
- TC TOP OF CURB ELEVATION
 - TP TOP OF PAVEMENT ELEVATION
 - TG TOP OF GRAVEL
 - SW TOP OF SIDEWALK ELEVATION
 - FG FINISH GRADE ELEVATION

SHEET TITLE:
GRADING PLAN

PROJECT:
BRANCHED OUT PLAZA

PREPARED FOR:
BRANCHED OUT GUTTERS, LLC

TAX MAP No.: 04-05-16-100-007-031.001

SEC,TWP,RNG: 16-46-32

COUNTY: CASS

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VEGETATIVE STABILIZATION WITH TEMPORARY SEEDING:

LIME - APPLY DOLOMITIC LIMESTONE AT THE RATE OF 1 TO 2 TON PER ACRE. APPLY LIMESTONE UNIFORMLY AND INCORPORATE INTO THE TOP 4-6 INCHES OF SOIL.

FERTILIZER - APPLY 10-10-10 FERTILIZER AT THE RATE OF 600 LBS PER ACRE. APPLY FERTILIZER UNIFORMLY AND INCORPORATE INTO THE TOP 4 - 6 INCHES OF SOIL.

SEEDING:

SPECIES	SEEDING RATES (PER ACRE)(LBS/1000 SQ. FT.)	PLANTING DEPTH (INCHES)	SEEDING DATES
RYE	2 - bu. 3.2	1-2	2/1 - 4/30 & 8/15 - 11/30

MULCHING - APPLY UNROTTED SMALL GRAIN STRAW AT THE RATE OF 1 - 2 TONS PER ACRE OR 70-90 LBS PER 1000 SQ. FT. SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY.

VEGETATIVE STABILIZATION WITH PERMANENT SEEDING

LIME - APPLY DOLOMITIC LIMESTONE AT THE RATE OF 2 TONS PER ACRE. APPLY LIMESTONE UNIFORMLY AND INCORPORATE INTO THE TOP 4-6 INCHES OF SOIL.

FERTILIZER - APPLY 10-10-10 FERTILIZER AT THE RATE OF 1000 LBS PER ACRE. APPLY FERTILIZER UNIFORMLY AND INCORPORATE INTO THE TOP 4-6 INCHES OF SOIL.

SEEDING:

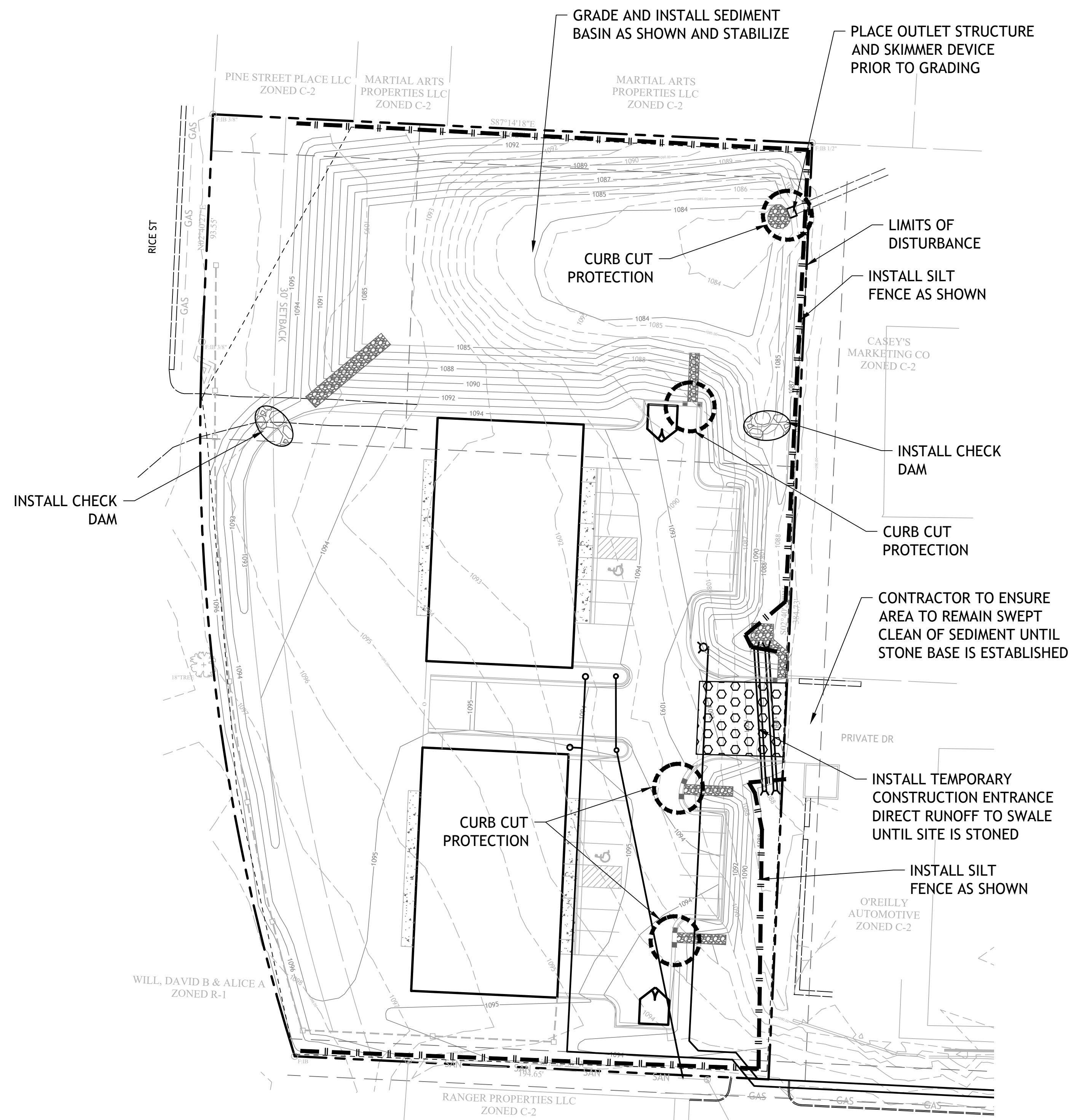
SEEDING MIXTURE (USE CERTIFIED SEED)	SEEDING RATE (LBS/ACRE)(LBS /1000 SQ. FT.)	SEEDING DATES
KENTUCKY BLUEGRASS (50%)	45	1.0
RED TOP (10%)	9	0.2
RED FESCUE (40%)	36	0.8

MULCHING - APPLY UNROTTED SMALL GRAIN STRAW AT THE RATE OF 1 - 2 TONS PER ACRE, OR 70-90 LBS PER 1000 SQ. FT. SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY.

NOTE: SITE PREPARATION, SOIL PREPARATION, MULCH ANCHORING, IRRIGATION, MAINTENANCE AND DUST CONTROL, SHOULD IT BECOME NECESSARY, SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR VEGETATIVE STABILIZATION WITH TEMPORARY AND PERMANENT SEEDING.

EARTHWORK

Cut volume (unadjusted) 3549.45 Cu. Yd.
 Fill volume (unadjusted) 1846.43 Cu. Yd.
 Net volume (unadjusted) 1703.02 Cu. Yd. <Cut>



EROSION AND SEDIMENT CONTROL NOTES:

1. THE CITY OF RAYMORE MUST BE NOTIFIED IN WRITING FIVE (5) DAYS PRIOR TO COMMENCING WITH CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.
2. REVIEW AND APPROVAL OF SEDIMENT AND STORMWATER MANAGEMENT PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OR HER RESPONSIBILITIES FOR COMPLIANCE WITH THE REQUIREMENTS OF THE SEDIMENT AND STORMWATER REGULATIONS, NOR SHALL IT RELIEVE THE CONTRACTOR FROM ERRORS OR OMISSIONS ON THE APPROVED PLAN.
3. IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY THE APPROPRIATE REVIEW AUTHORITY.
4. THE CITY OF RAYMORE RESERVES THE RIGHT TO ENTER PRIVATE PROPERTY FOR PURPOSES OF PERIODIC SITE INSPECTION.
5. FOLLOWING SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN 14 CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER SEDIMENT CONTROLS, TOPSOIL STOCKPILES, AND ALL OTHER DISTURBED OR GRADED AREAS ON THE PROPOSED SITE.
6. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL COMPLY WITH THE STATE OF MISSOURI & CITY OF RAYMORE EROSION AND SEDIMENT CONTROL REGULATIONS.
7. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN AND REPAIR ALL STORMWATER AND SEDIMENT CONTROL PRACTICES DURING CONSTRUCTION AND UTILITY INSTALLATION.
8. IT SHALL BE THE OWNER'S RESPONSIBILITY TO MAINTAIN THE PROPERTY DURING THE PLAN REVIEW AND APPROVAL PROCESS. IT SHALL BE THE OWNERS RESPONSIBILITY TO MAINTAIN STORMWATER FACILITY.
9. APPROVAL OF A SEDIMENT AND STORMWATER PLAN DOES NOT GRANT NOR IMPLY A RIGHT TO DISCHARGE STORMWATER RUNOFF. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ANY AND ALL AGREEMENTS, EASEMENTS, ETC., NECESSARY TO COMPLY WITH STATE DRAINAGE AND OTHER APPLICABLE LAWS.
10. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED PERIODICALLY AND AFTER EACH RAINFALL. MAINTENANCE MUST BE PERFORMED AFTER EACH INSPECTION AS NECESSARY. ANY ERODED AREAS SHALL BE STABILIZED AND ANY ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISPOSED OF ACCORDING TO PLAN.
11. THE EROSION AND SEDIMENT CONTROL OBJECTIVES WILL BE ACHIEVED BY MINIMIZING EXPOSURE TIME OF POTENTIALLY ERODIBLE SOILS TO RUNOFF, AND INSTALLATION OF THE TEMPORARY AND PERMANENT CONSERVATION MEASURES IN PROPER SEQUENCE WITH CONSTRUCTION.
12. TOPSOIL STOCKPILED ON THE SITE SHALL BE STABILIZED WITH SEED AND MULCH WITHIN 5 CALENDAR DAYS OF PLACEMENT OF THE TOPSOIL. THE TEMPORARY TOPSOIL STOCKPILE SHALL BE USED FOR FINAL GRADING OF SITE ALL REMAINING STOCKPILED MATERIAL, IF APPLICABLE SHALL BE REMOVED FROM THE SITE IN AN APPROVED MANNER.
13. CONTRACTOR SHALL TAKE CARE NOT TO "TRACK" MUD OFF SITE WITH CONSTRUCTION VEHICLES AND EQUIPMENT.
14. ALL AREAS NOT STABILIZED BY STONE BASE COURSE OR PAVING ARE TO BE STABILIZED ACCORDING TO THE STABILIZATION SCHEDULE IMMEDIATELY AFTER DESIGN GRADE IS ACHIEVED. HYDRO SEEDING IS RECOMMENDED WHERE SLOPES EXCEED 3:1.
15. IN THE EVENT EARTHWORK OPERATIONS ARE HALTED FOR THE WINTER MONTHS, BEFORE FINAL GRADING AND SEEDING OF ALL DISTURBED AREAS ARE COMPLETED, THOSE AREAS ARE TO BE STABILIZED PER THE STABILIZATION GUIDELINES OR STABILIZED WITH A MULCH, OR TACKED WITH A CHEMICAL ADHESIVE.
16. EROSION CONTROL MATTING SHALL BE USED ON ALL SLOPES THAT ARE 3:1 (3 UNITS HORIZONTAL TO 1 UNIT VERTICAL) OR GREATER AND IN AREAS OF CONCENTRATED FLOW WHERE GRADES EXCEED 1% AND IN DISTURBED AREAS WHERE HIGHLY ERODIBLE SOILS ARE PRESENT. EROSION CONTROL BLANKET SHALL BE TYPE S-150 AS MANUFACTURED BY NORTH AMERICAN GREEN OR AN APPROVED EQUIVALENT.
17. IF DUST CONTROL BECOMES A PROBLEM, METHODS SUCH AS MULCHING, OR SPRINKLING WATER SHALL BE IMPLEMENTED.
18. ALL FILTER FABRIC TO BE USED UNDER RIP-RAP SHALL BE Mirafi 600X OR APPROVED EQUIVALENT.

GENERAL SEDIMENT AND STORMWATER NOTES

1. ALL NECESSARY PERMITS, LICENSES, BONDS, INSURANCE POLICIES, ETC. REQUIRED BY LOCAL STATE AND/OR FEDERAL LAWS SHALL BE PROVIDED BY THE CONTRACTOR AT HIS OWN EXPENSE.
2. LIMITS OF SOIL DISTURBANCE IS FOR BUILDING FOUNDATION AND UTILITY SERVICE LINES ONLY AND IS ESTIMATED TO BE APPROXIMATELY 1.4ac.
3. SHOULD QUESTIONS ARISE REGARDING THE MAINTENANCE OF EROSION AND SEDIMENT CONTROL PRACTICES, THE SITE CONTRACTOR SHALL CONTACT THE CONSULTING ENGINEER EXPEDITIOUSLY FOR TECHNICAL ASSISTANCE.
4. THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OF DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHALL BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENT FROM LEAVING THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR ALTER MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE CITY INSPECTOR.
5. ALL PERIMETER CONTROLS FOR EROSION AND SEDIMENT SHALL BE IN PLACE PRIOR TO ANY OTHER LAND DISTURBING ACTIVITIES.
6. A CONCRETE WASHOUT STATION AND STAGING AREA INCLUDING DUMPSTER(S) SHALL BE PROVIDED NEAR THE CONSTRUCTION ENTRANCE IN A LOCATION ACCEPTABLE TO THE CONTRACTOR. THIS LOCATION SHALL BE APPROVED BY THE CITY DURING THE PRE CONSTRUCTION MEETING.

LEGEND

- SILT FENCE
- TEMPORARY CONSTRUCTION ENTRANCE
- CHECK DAM

PRE BULK GRADING EROSION AND SEDIMENT CONTROL SEQUENCE OF CONSTRUCTION

1. NOTIFY CITY OF RAYMORE FIVE (5) DAYS PRIOR TO COMMENCING WITH CONSTRUCTION AND ARRANGE A PRE CONSTRUCTION MEETING IF REQUIRED.
2. MARK LIMITS OF DISTURBANCE WITH ORANGE SAFETY FENCE.
3. INSTALL THE TWO PERMANENT CULVERTS UNDER THE PROPOSED ENTRANCE AS SHOWN PER APWA STANDARDS.
4. INSTALL PERIMETER CONTROLS AS SHOWN ON THE PLAN. THESE INCLUDE THE CONSTRUCTION ENTRANCE, SILT FENCE AND GRADING TO ESTABLISH ROUGH GRADE OF THE REVISED STORMWATER BASIN PROPOSED. IT WILL SERVE AS A SEDIMENT BASIN DURING CONSTRUCTION. HAUL ALL ADDITIONAL MATERIAL EXCAVATED FROM BASIN TO AN APPROVED (PERMITTED) LOCATION.
5. ONCE ROUGH GRADE IS ESTABLISHED, INSTALL THE DEWATERING AND SKIMMER DEVICE IN THE LOW FLOW ORIFICE AND EITHER STOCKPILE ADDITIONAL MATERIAL OR HAUL TO AN APPROVED LOCATION.
6. PROVIDE TEMPORARY SEEDING ON ALL AREAS THAT WILL NOT BE REDISTURBED FOR LONGER THAN 14 DAYS. THIS IS THE SEDIMENT BASIN BOTTOM AND SIDE SLOPES AND ANY STOCKPILE AREAS.

BULK GRADING EROSION AND SEDIMENT CONTROL SEQUENCE OF CONSTRUCTION

1. ROUGH GRADE THE ENTIRE SITE STAYING WITHIN THE CONFINES OF THE MARKED LIMITS OF DISTURBANCE.
2. INSTALL SITE UTILITIES INCLUDING SEWER LATERALS, WATER SERVICE AN HYDRANT AND ESTABLISH GRADING TO ENSURE ALL AREAS ARE DRAINING TO THE TEMPORARY SEDIMENT BASIN.
3. INSTALL ROCK CHECK DAMS AS SHOWN ON THE PLAN BOTH IN THE EAST SWALE AND WEST SIDE SWALE.
4. INSTALL PARKING BASE COURSE AND CURB AND CURB OUTLET PROTECTION (ROCK APRONS) AS SHOWN.
5. COMMENCE WITH BUILDING CONSTRUCTION.
6. INSTALL BASE COURSE OF PAVEMENT AND FINE GRADE PROPERTY AND SEED WITH PERMANENT SEEDING MIX.
7. FINALIZE BUILDING CONSTRUCTION.
8. FINALIZE PAVEMENT W FINAL WEARING COURSE
9. CONVERT THE SEDIMENT BASIN TO THE FINAL STORMWATER BASIN LINES AND GRADES SHOWN, REMOVE THE SKIMMING DEVICE, AND INSTALL THE AGRIDRAIN TRASH GUARD AND FINAL TRASH RACK. CLEAN ANY ACCUMULATED SEDIMENTS OUT OF THE PRINCIPLE SPILLWAY PIPE ONCE SITE IS FULLY STABILIZED AFTER LANDSCAPING IS INSTALLED.

NOTE:
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SHEET TITLE:
EROSION CONTROL PLAN

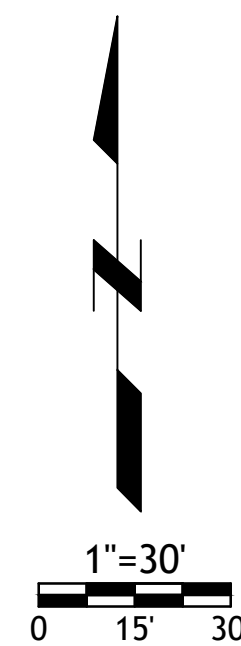
PROJECT:
 BRANCHED OUT PLAZA

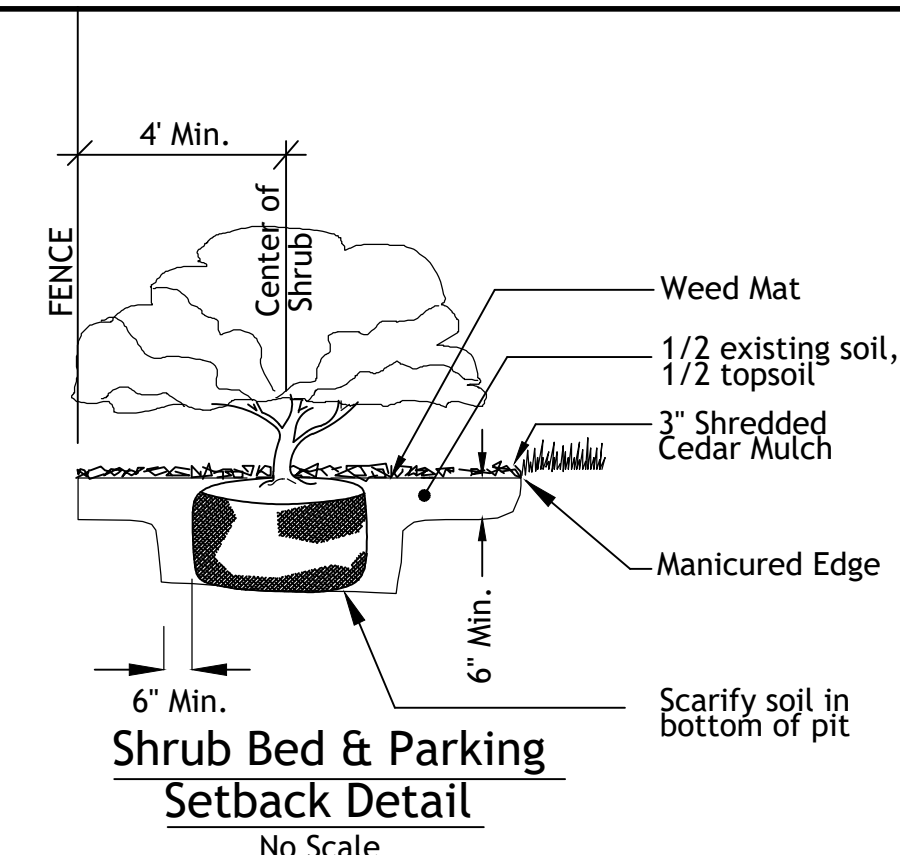
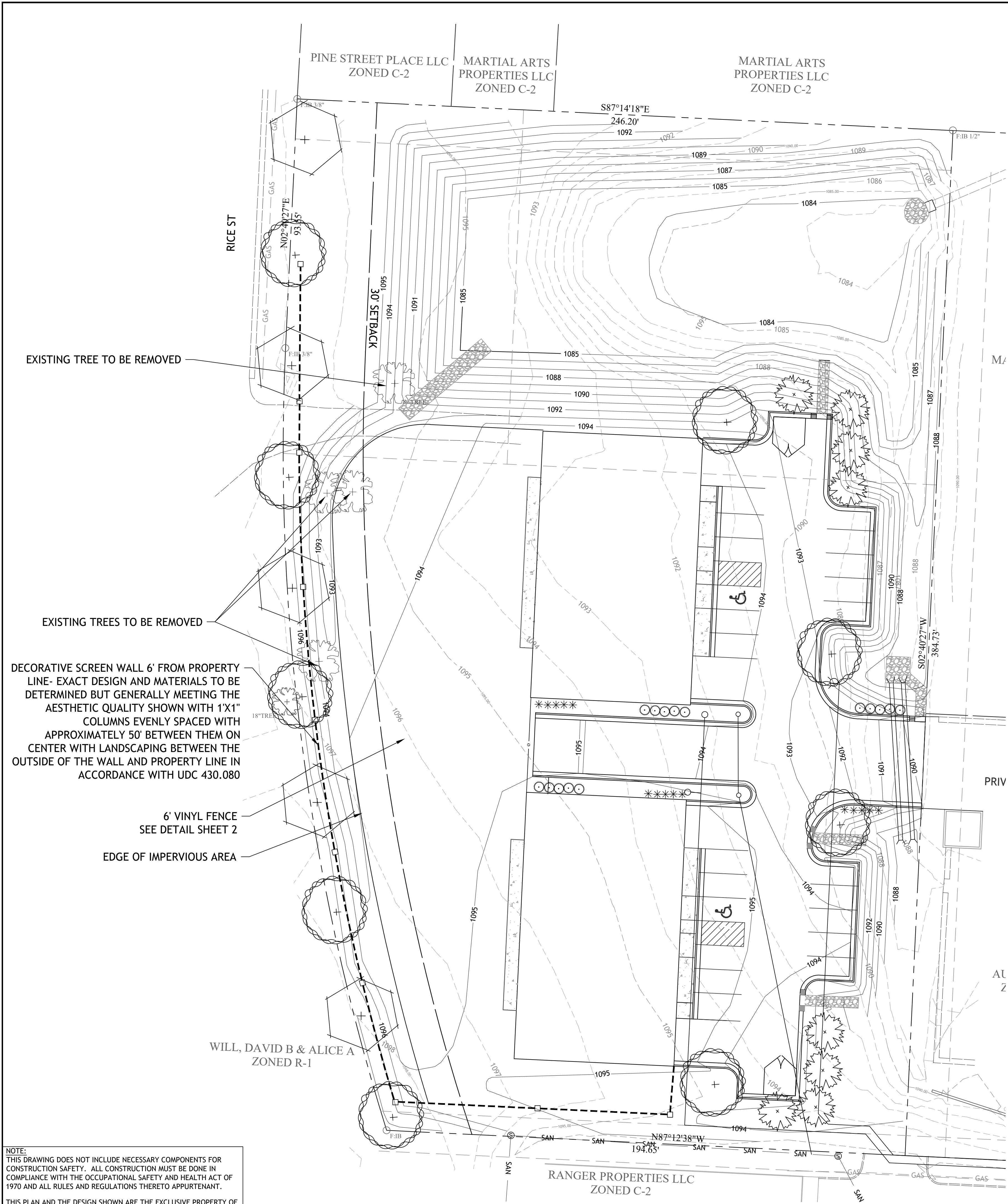
PREPARED FOR:
 BRANCHED OUT GUTTERS, LLC
TAX MAP No.: 04-05-16-100-007-031.001
SEC,TWP,RNG: 16-46-32
COUNTY: CASS

DATE	REVISION	CHKD.
12-22-25	CITY COMMENTS	TB
8-5-25	CITY COMMENTS	TB
DATE	REVISION	CHKD.
DRAWN BY:	CHECKED BY:	DATE: 7-14-25
		SCALE:
		PROJECT No.:
		SHEET No.: 5

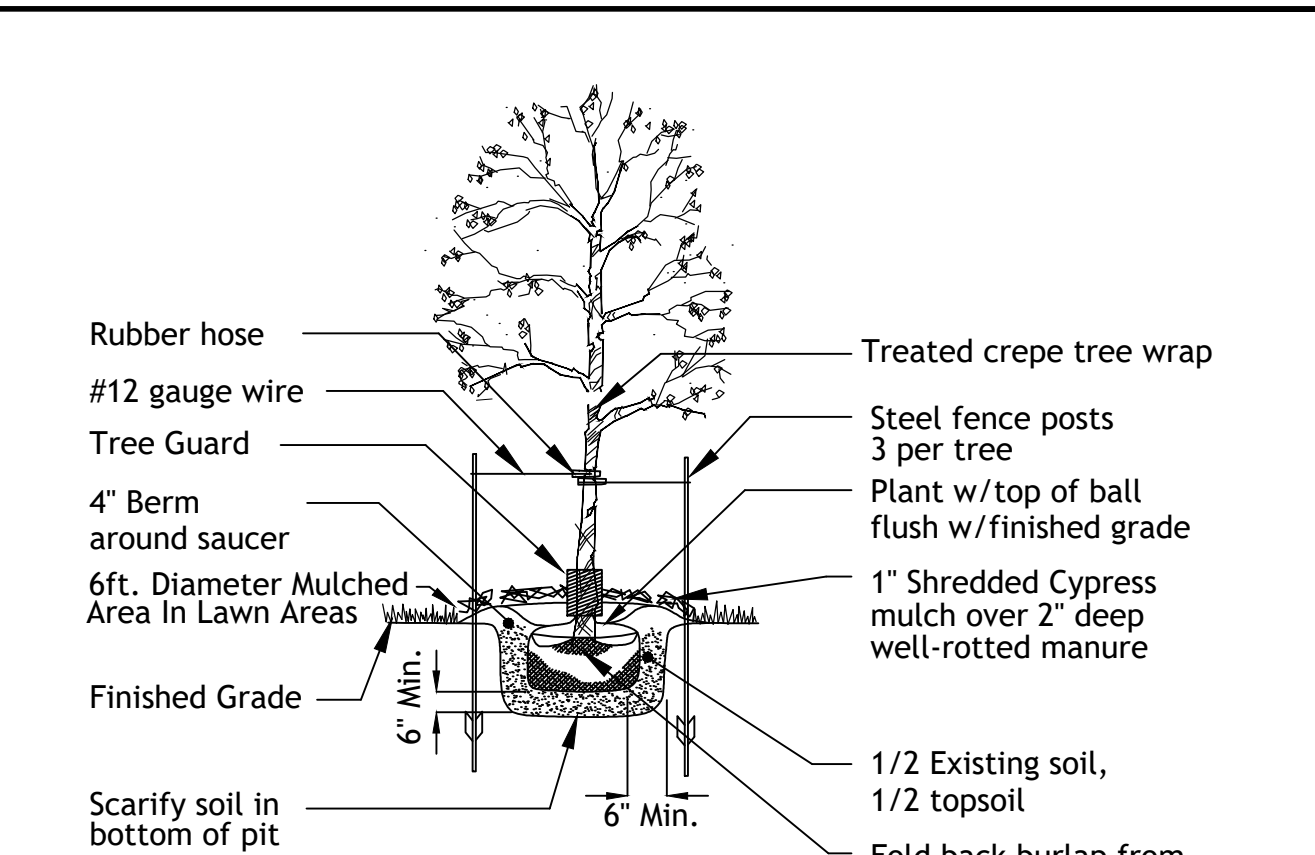


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Shrub Bed & Parking Setback Detail
No Scale



Tree Planting Detail
No Scale

LANDSCAPE NOTES
CONTRACTOR REQUIRED TO LOCATE ALL UTILITIES BEFORE INSTALLATION TO BEGIN.

Contractor shall verify all landscape material quantities and shall report any discrepancies to the Landscape Architect prior to installation.

No plant material substitutions are allowed without Landscape Architect or Owners approval.

Contractor shall guarantee all landscape work and plant material for a period of one year from date of acceptance of the work by the Owner. Any plant material which dies during the one year guarantee period shall be replaced by the contractor during normal planting seasons.

Contractor shall be responsible for maintenance of the plants until completion of the job and acceptance by the Owner.

Successful landscape contractor shall be responsible for design that complies with minimum irrigation requirements, and installation of an irrigation system. Irrigation system to be approved by the owner before starting any installation.

All plant material shall be specimen quality stock as determined in the "American Standards For Nursery Stock" published by The American Association of Nurserymen, free of plant diseases and pest, of typical growth of the species and having a healthy, normal root system.

Sizes indicated on the plant list are the minimum, acceptable size. In no case will sizes less than specified be accepted. And be in accordance with the city of Raymore unified development code standards.

All shrub beds within lawn areas to receive a manicured edge.

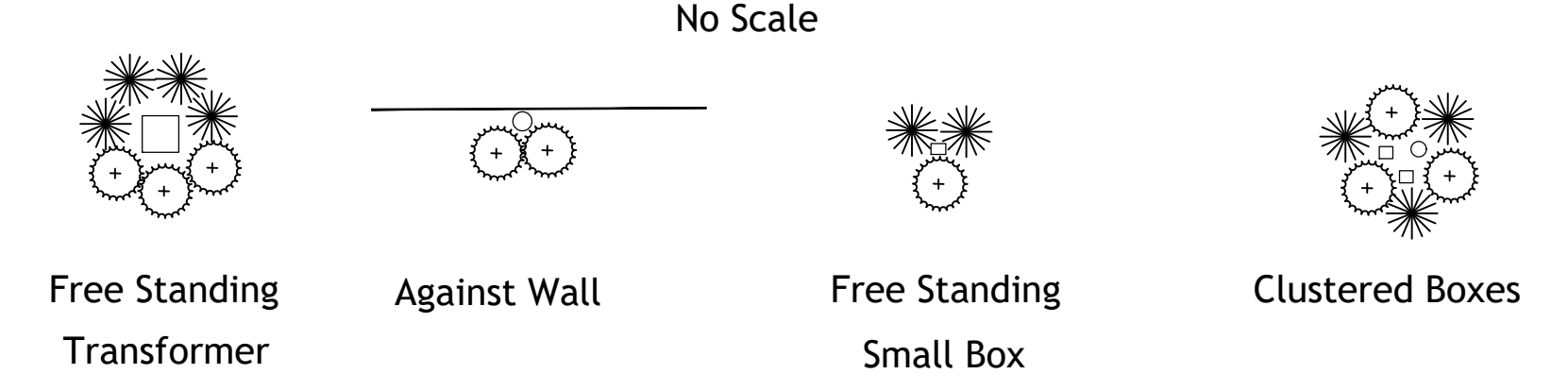
All shrub beds shall be mulched with 3\"/>

All sod areas to be fertilized & sodded with a Turf-Type-Tall Fescue seed blend.

All seed areas shall be hydro-seeded with a Turf-Type-Tall Fescue seed blend.

All areas not contained with defined edges of impervious areas to receive permanent grass seeding per these plans until a sod is well established.

Typical Utility Box Screening Details



UTILITY BOXES SHALL BE CLUSTERED AS MUCH AS POSSIBLE

Shrub List

Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
○	15	Seagreen Juniper	Juniperus Chinensis 'Seagreen'	18"-24"sp.	Cont.	4'o.c.
*	15	Morning Light Maiden Grass	Miscanthos Sinensis 'Morning Light'	3 gal.	Cont.	4'o.c.

Tree List

Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
⊕	9	October Glory Maple	Acer Rubrum 'October Glory'	3" cal	BB	As Shown
⊕	8	Canaert Juniper	Juniperus Virginiana 'Canaertii'	6' hgt	BB	As Shown
⊕	5	Skyline Honeylocust	Gleditsia Triacanthos 'Skyline'	2" cal	BB	As Shown

LANDSCAPE DATA:
INTERIOR PARKING
16 PARKING STALLS
REQUIRED
1 SHADE 3 SHRUBS / 10 PARKING STALLS
1 TREE
3 SHRUBS

PROVIDED
4 TREES
30 SHRUBS
8 EVERGREENS

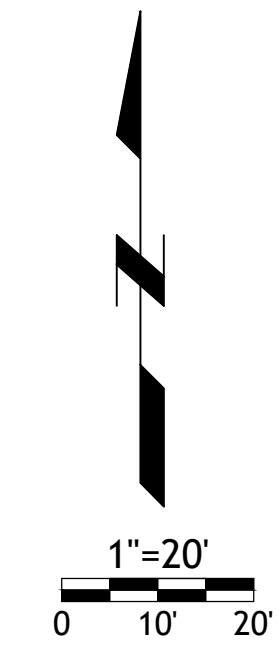
WEST PROPERTY 390'
REQUIRED
6' FENCE
1 SHADE TREE / 40' = 10

PROVIDED
6' TALL FENCE
SHADE TREES = 10

SHEET TITLE:
LANDSCAPE PLAN

PROJECT:
BRANCHED OUT PLAZA

PREPARED FOR:
BRANCHED OUT GUTTERS, LLC
TAX MAP No.: 04-05-16-100-007-031.001
SEC,TWP,RNG: 16-46-32
COUNTY: CASS



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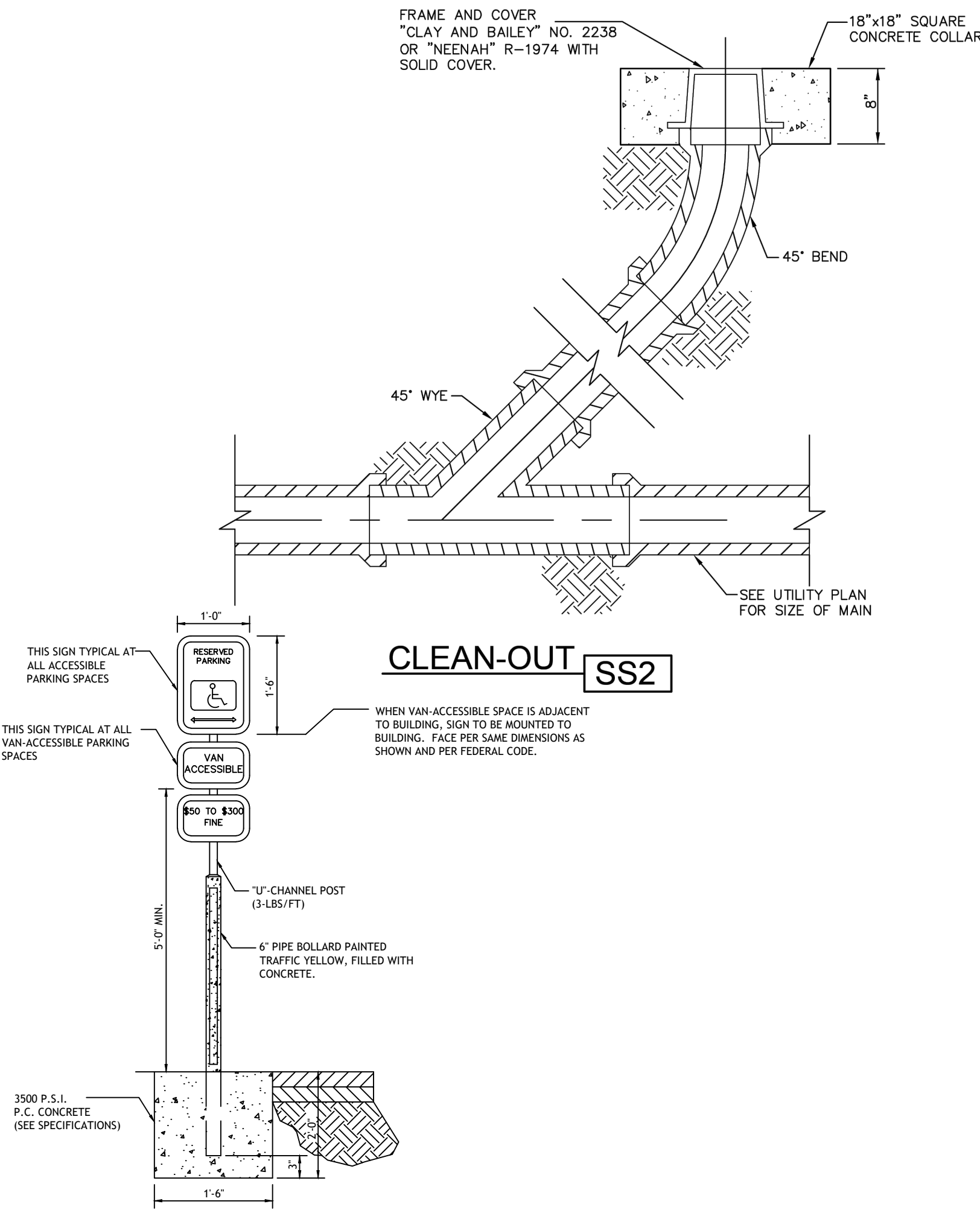
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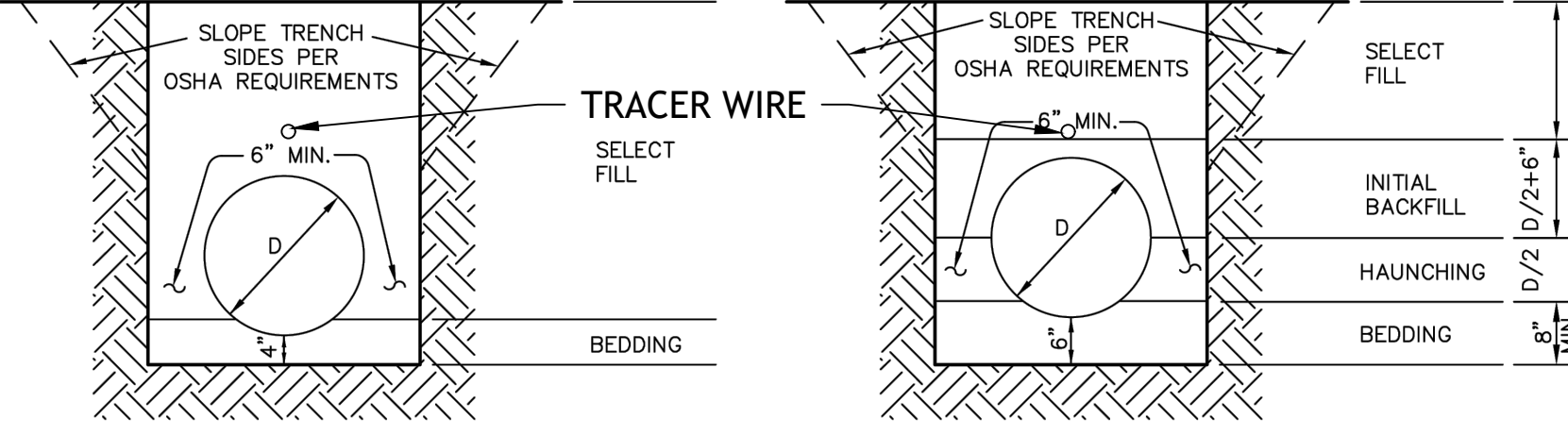
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(W) (913) 515-7209
CA 2021010347
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DATE	REVISION	CHKD.
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		SCALE:
		PROJECT No.:
		SHEET No.: 6

FRAME AND COVER
"CLAY AND BAILEY" NO. 223B
OR "NEENAH" R-1974 WITH
SOLID COVER.



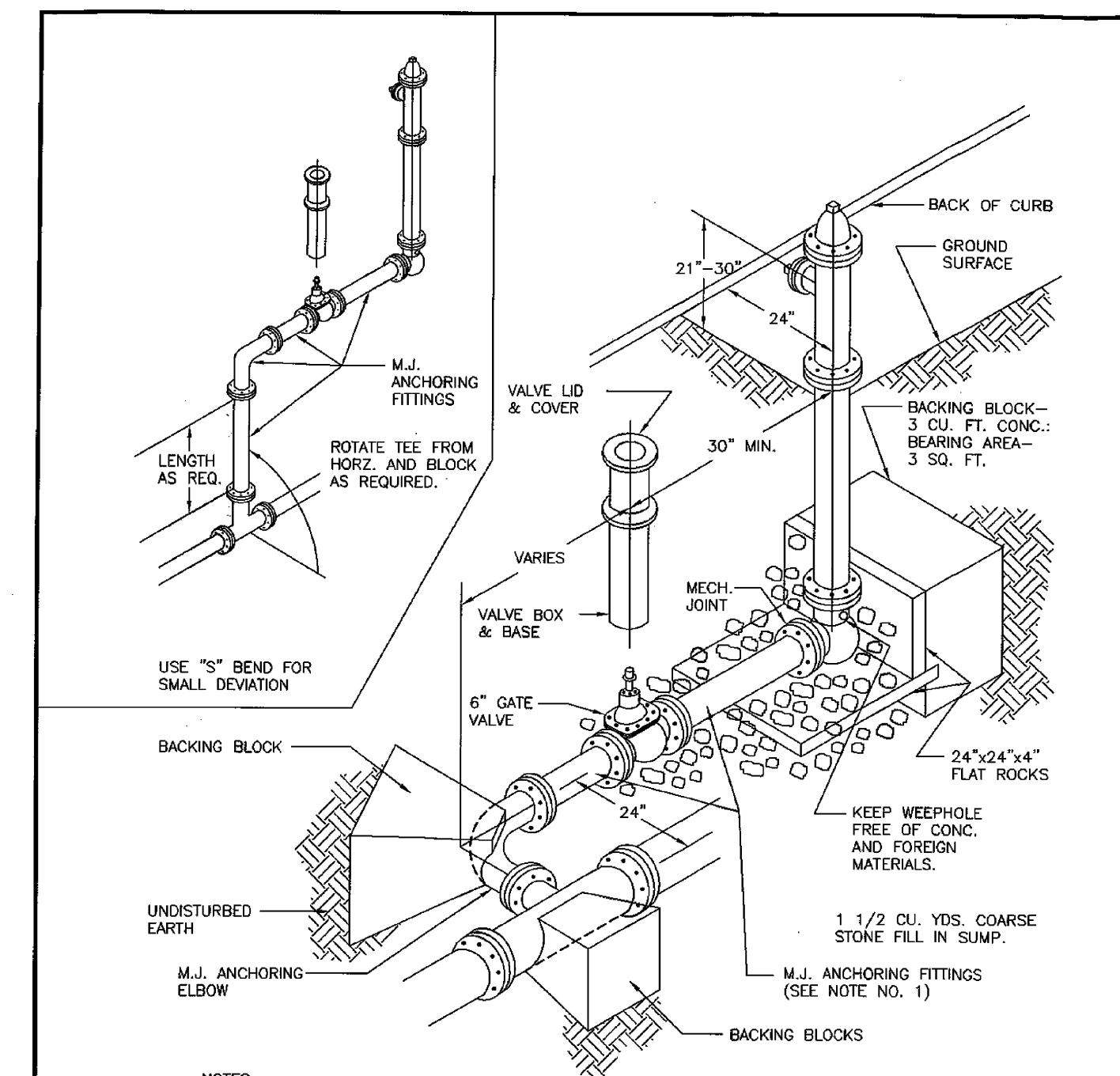
CLEAN-OUT SS2



RIGID PIPE: INCLUDES REINFORCED CONCRETE, DUCTILE IRON, & CAST IRON.
1. BEDDING SHALL BE COMPACTED SAND AND SHALL BE SHAPED TO THE BOTTOM OF THE PIPE.
2. SELECT FILL SHALL BE NATIVE MATERIAL FREE OF LARGE ROCKS, DEBRIS, AND ORGANICS (3") AND SHALL BE PLACED IN 6" MAX. LOOSE LIFTS AND COMPACTED IN ACCORDANCE WITH SPECIFICATIONS.

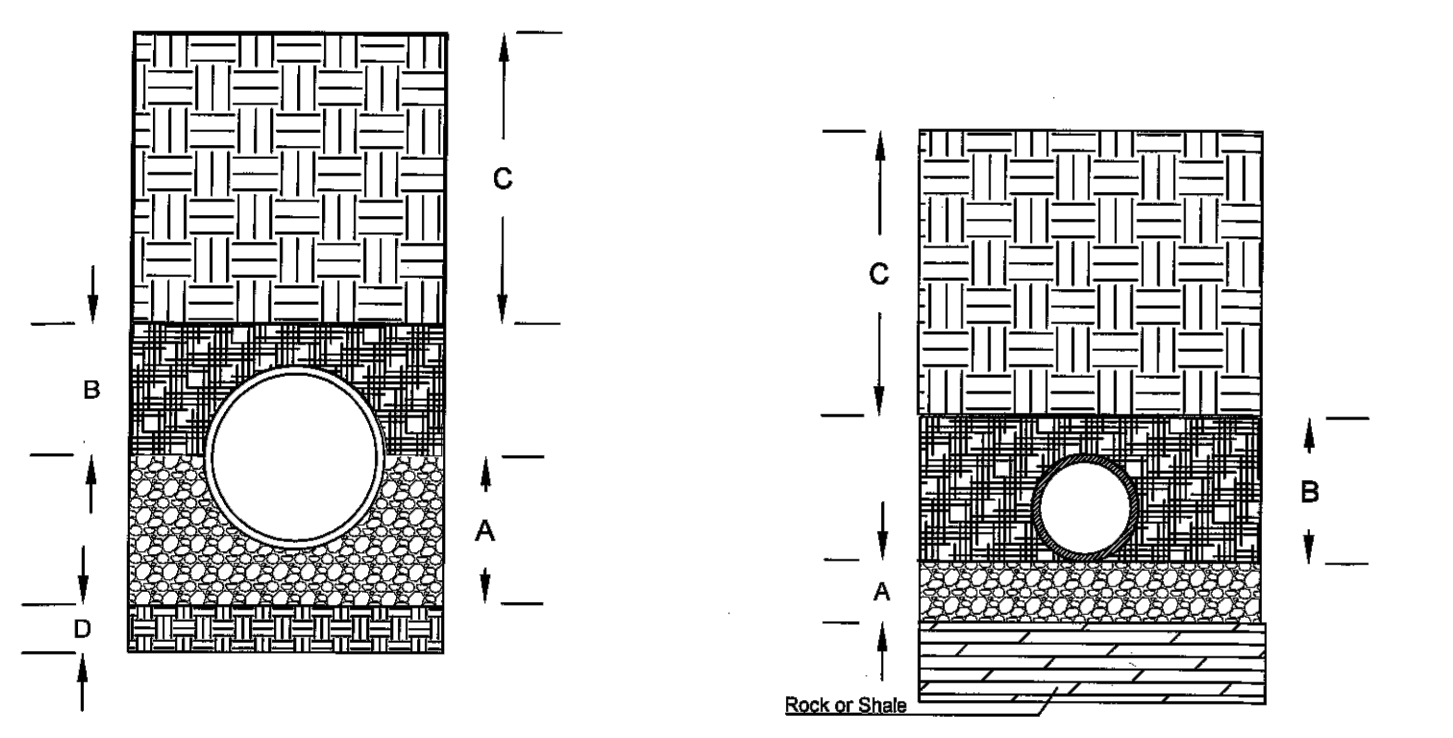
FLEXIBLE PIPE: INCLUDES CORRUGATED METAL PIPE, CORRUGATED POLYETHYLENE PIPE AND/OR POLYVINYL CHLORIDE PIPE.
1. BEDDING AND HAUNCHING MATERIAL SHALL BE COMPACTED SAND, UNLESS NOTED OTHERWISE ON PLANS AND SHALL BE SHAPED TO THE BOTTOM OF THE PIPE.
2. INITIAL BACKFILL MATERIAL SHALL BE GRANULAR MATERIAL OR SELECT MATERIAL (INCLUDING SAND) COMPACTED IN ACCORDANCE TO SPECIFICATIONS.
3. SELECT FILL PLACEMENT AND COMPACTION SAME AS FOR RIGID PIPE.

TRENCH AND BEDDING DETAILS MS1



NOTES:
1. ALL FIRE HYDRANTS SHALL BE INSTALLED USING MEGALUG STYLE FITTINGS.
2. VALVE BOX AND BASE ARE TO BE DUCTILE IRON.
3. ALL HYDRANTS SHALL BE CLOW MEDALLION, KENNEDY "GUARDIAN" OR MUELLER "CENTURION".
4. ALL HYDRANTS SHALL BE DELIVERED PAINTED SAFETY RED FIELD PAINTING IS NOT ACCEPTABLE.

Engineering Department City of Raymore 100 Municipal Circle Raymore, MO 64083 816-331-1852 Fax 816-331-8067	CITY OF RAYMORE			
Checked Approved	SIZE A	FSOM NO.	DWG NO. Wtr- 1	REV
Modified 2013	SCALE NONE		SHEET 1 OF 1	

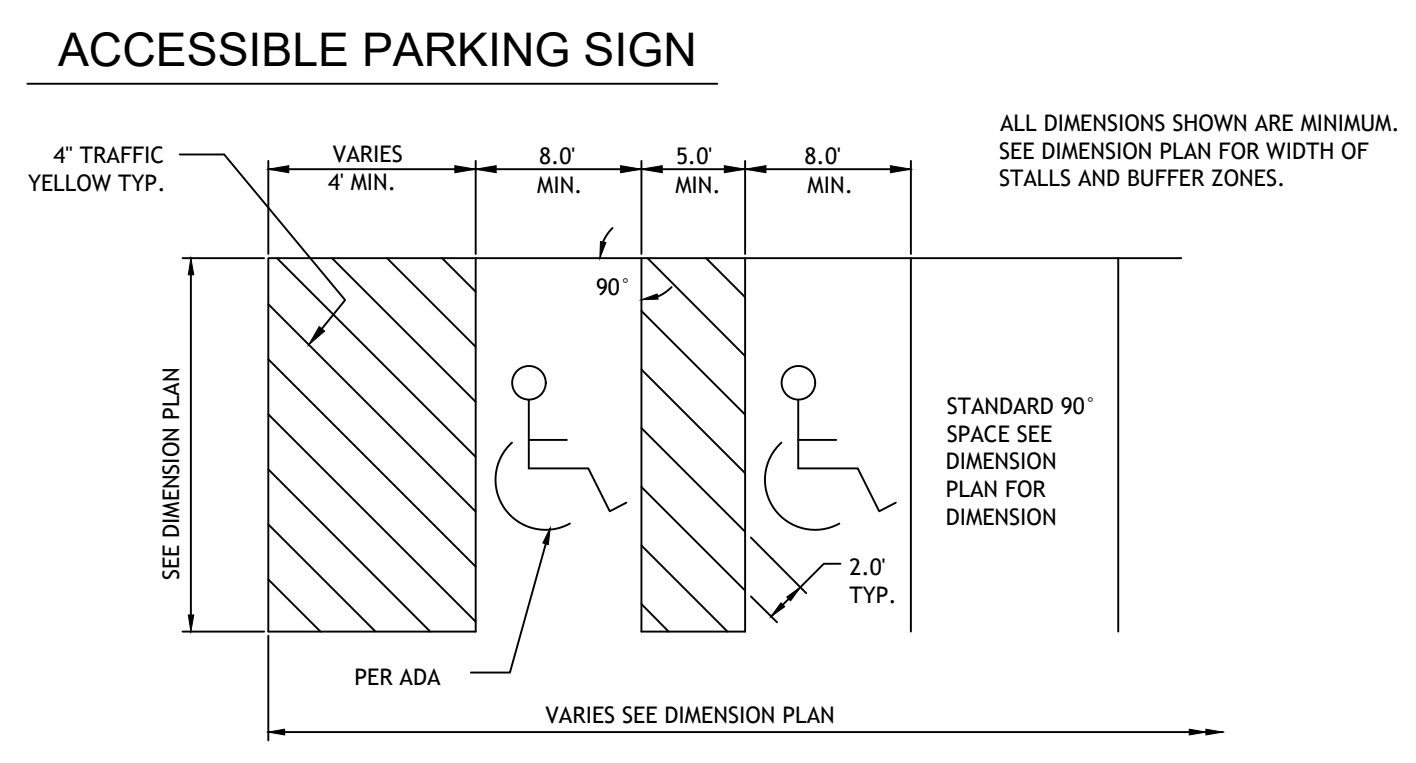


Embedment for Pipe 24" and Larger

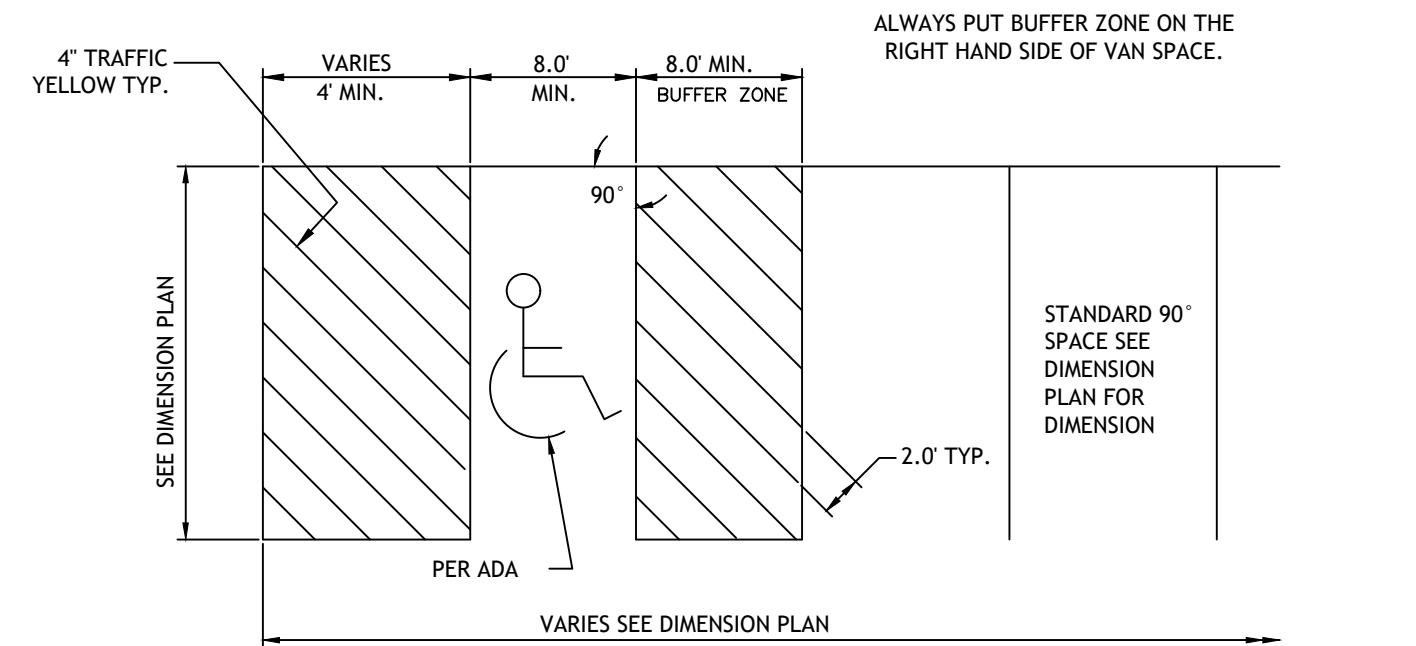
Legend
"A" - 3/8" to 1/2" clean gravel placed to a minimum depth of 4" below bell.
"B" - Loosely compacted backfill, free of rock or shale, placed to a depth covering the pipe by 6".
"C" - Compacted backfill.
"D" - Undisturbed earth

Notes:
1. Ductile iron pipe 12" in diameter and larger shall be polywrapped and taped as per spec.
2. Rock and shale shall be over-excavated to a depth where gravel can be placed to a depth of 4" below the bell.

Engineering Department City of Raymore 100 Municipal Circle Raymore, MO 64083 816-331-1852 Fax 816-331-8067	CITY OF RAYMORE			
Checked Approved	SIZE A	FSOM NO.	DWG NO. Wtr - 6	REV
Modified 2013	SCALE NONE		SHEET 1 OF 1	

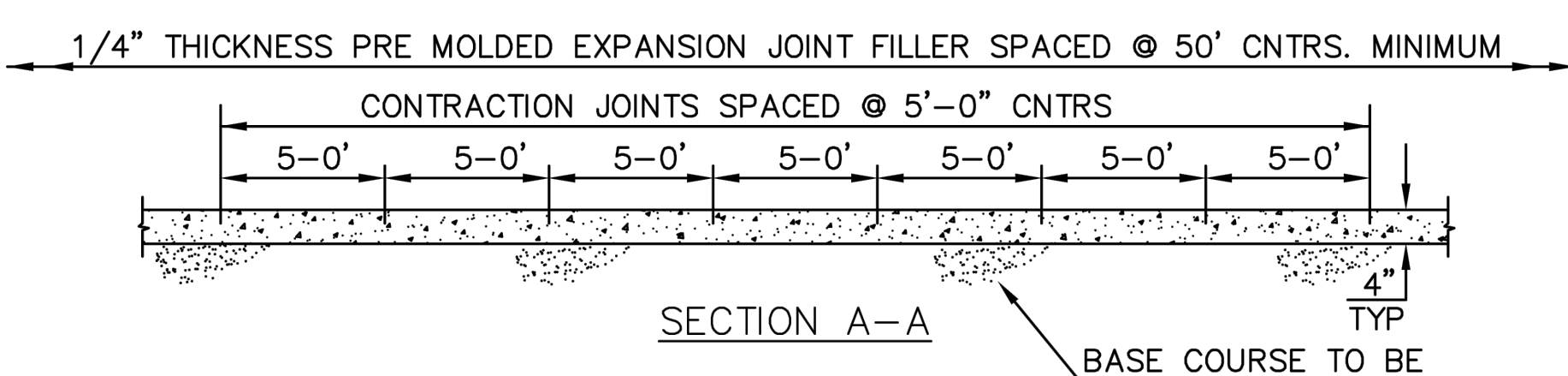
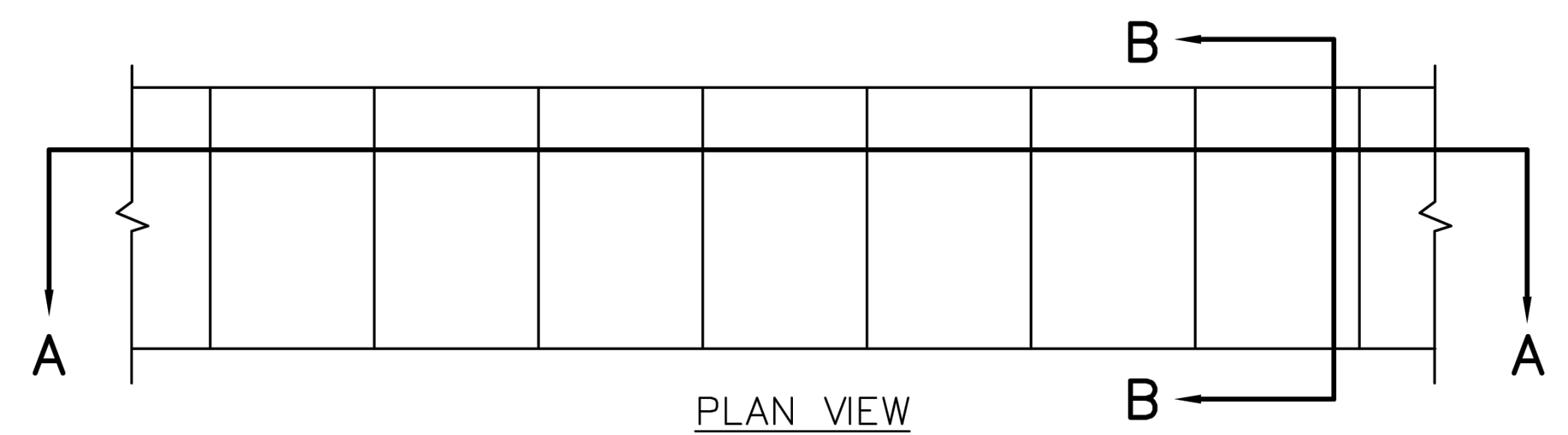


ACCESSIBLE PARKING SIGN

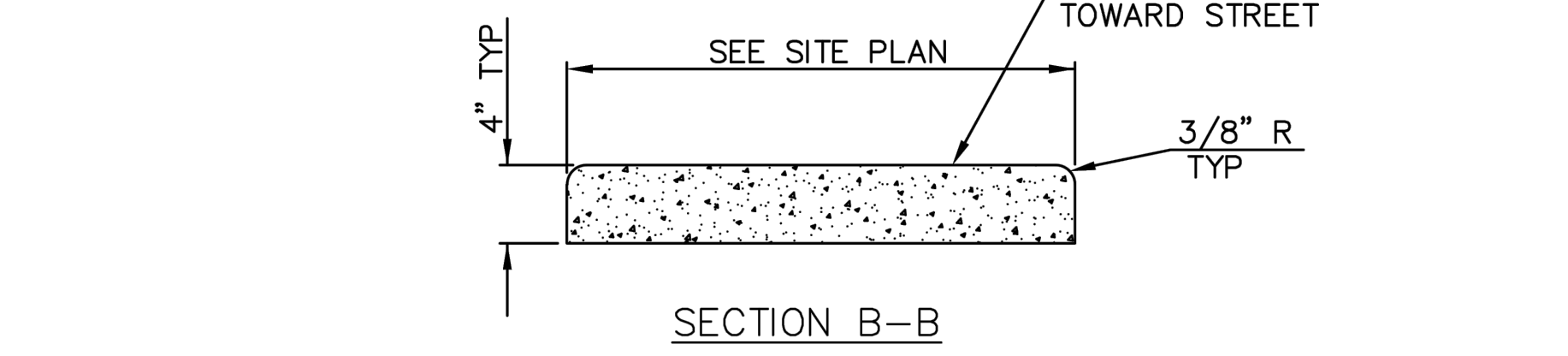


90° ACCESSIBLE & VAN ACCESSIBLE SPACE STRIPING
STRIPED AREA OF HANDICAP SPACE AND THE PARKING SPACE SHALL BE POURED CONCRETE, 4" THICK WITH 8" OF CONCRETE ON PASSENGER SIDE AND REAR OF PARKING SPACE FOR PROPER ACCESSIBILITY (SEE PLANS)

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NOTE: WHERE SIDEWALKS ARE INTEGRAL WITH DRIVE ENTRANCES INCREASE DEPTH TO 6" AND PROVIDE REINFORCING USING 6x6 #10 WIRE MINIMUM.



CONCRETE SIDEWALK CW2

NOTE: CONCRETE SHALL BE CLASS A WITH f'c = 3000 PSI.

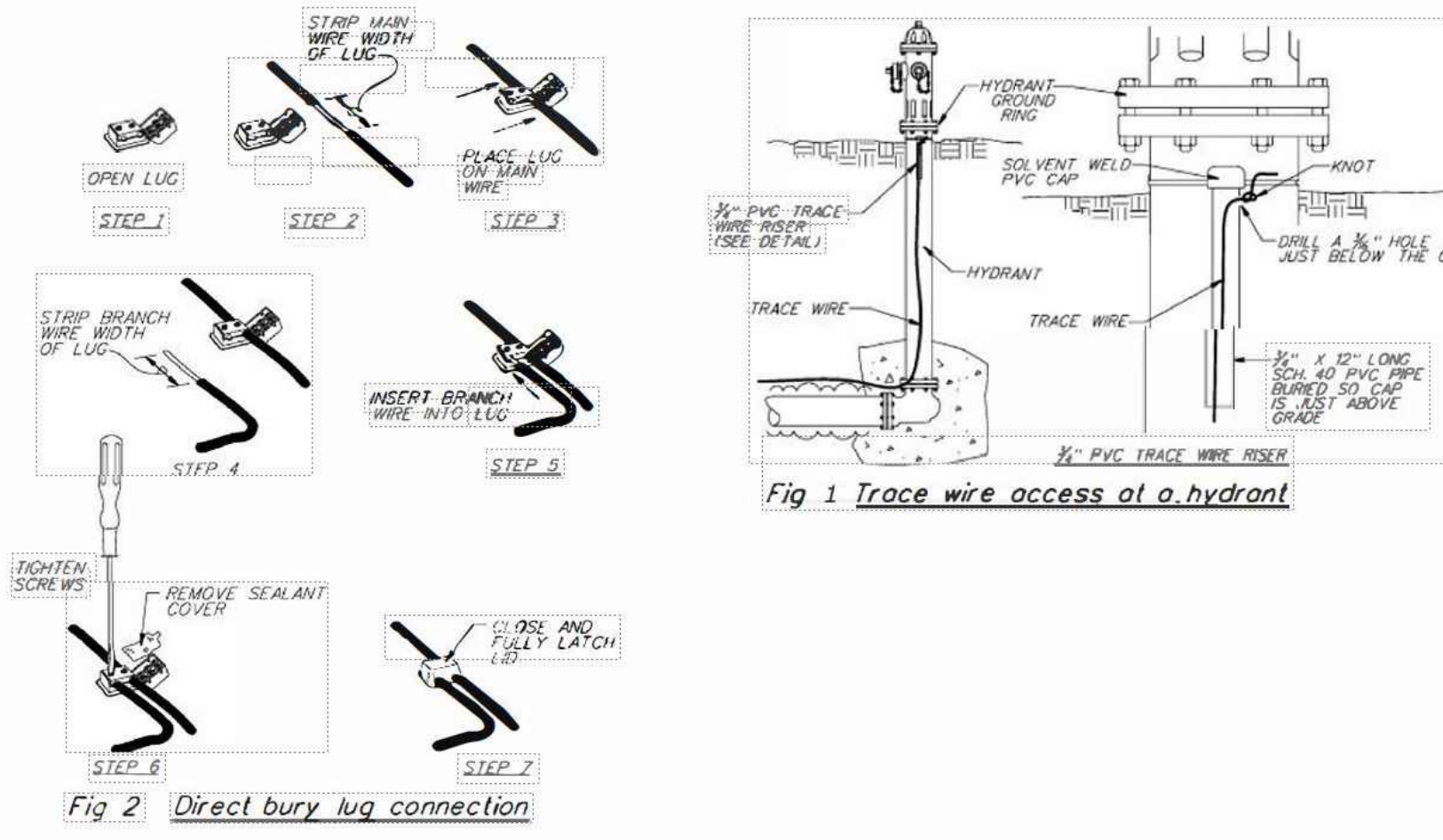


Fig 1 Trace wire access at a hydrant



Fig 2 Direct bury lug connection



Fig 3 Trace wire installation

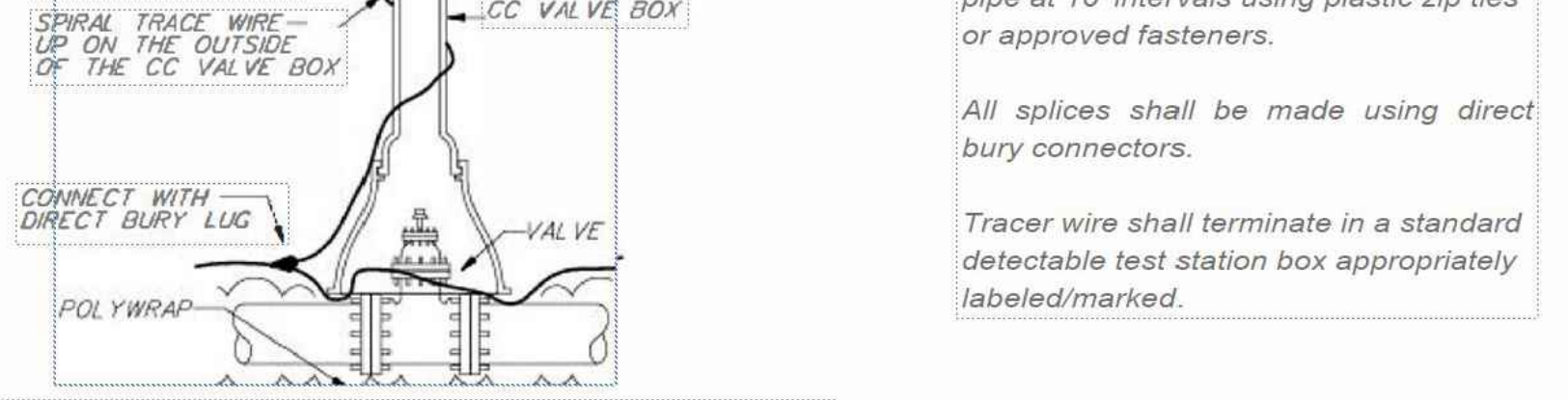


Fig 4 Trace wire access at a CC valve box

TRACER WIRE DETAIL

TRACER WIRE IS REQUIRED FOR SEWER SERVICE MAINS
TRACER WIRE TO BE TWELVE GAUGE MINIMUM SOLID COPPER WITH THERMOPLASTIC INSULATION RECOMMENDED FOR DIRECT BURIAL. WIRE CONNECTORS TO BE 3M DBR, OR APPROVED EQUAL, AND SHALL BE WATERTIGHT TO PROVIDE ELECTRICAL CONTINUITY. TRACER WIRE COLOR SHALL BE BLUE FOR ALL WATER CONSTRUCTION AND GREEN FOR ALL WASTEWATER PIPE CONSTRUCTION

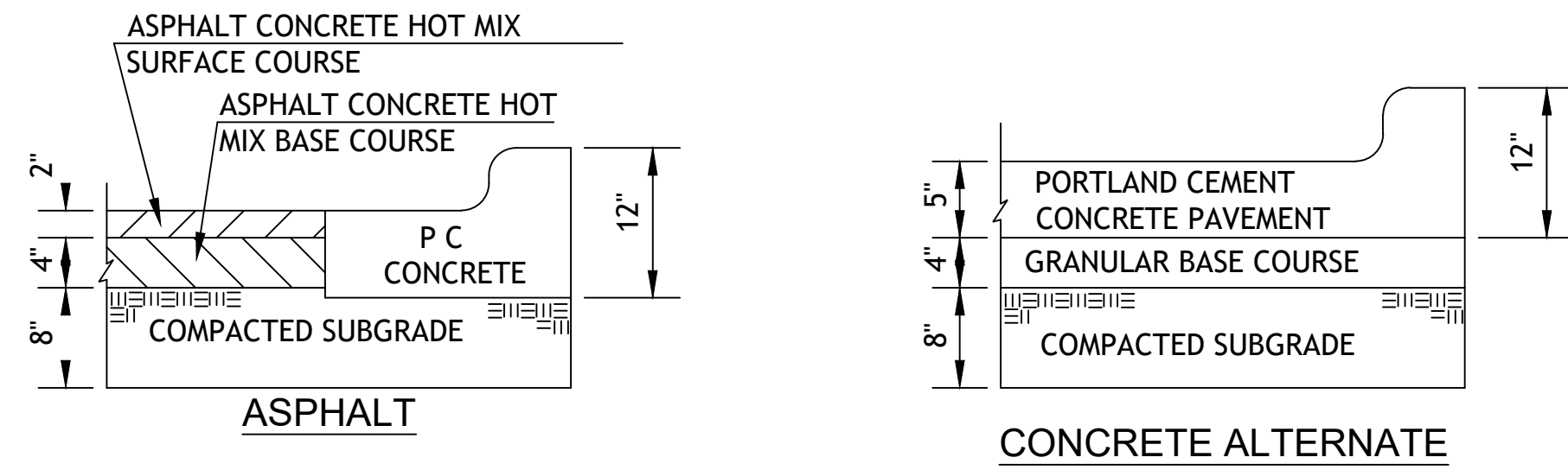
SHEET TITLE: DETAILS

PROJECT: BRANCHED OUT PLAZA
PREPARED FOR: BRANCHED OUT GUTTERS, LLC
TAX MAP No.: 04-05-16-100-007-031.001
SEC,TWP,RNG: 16-46-32
COUNTY: CASS

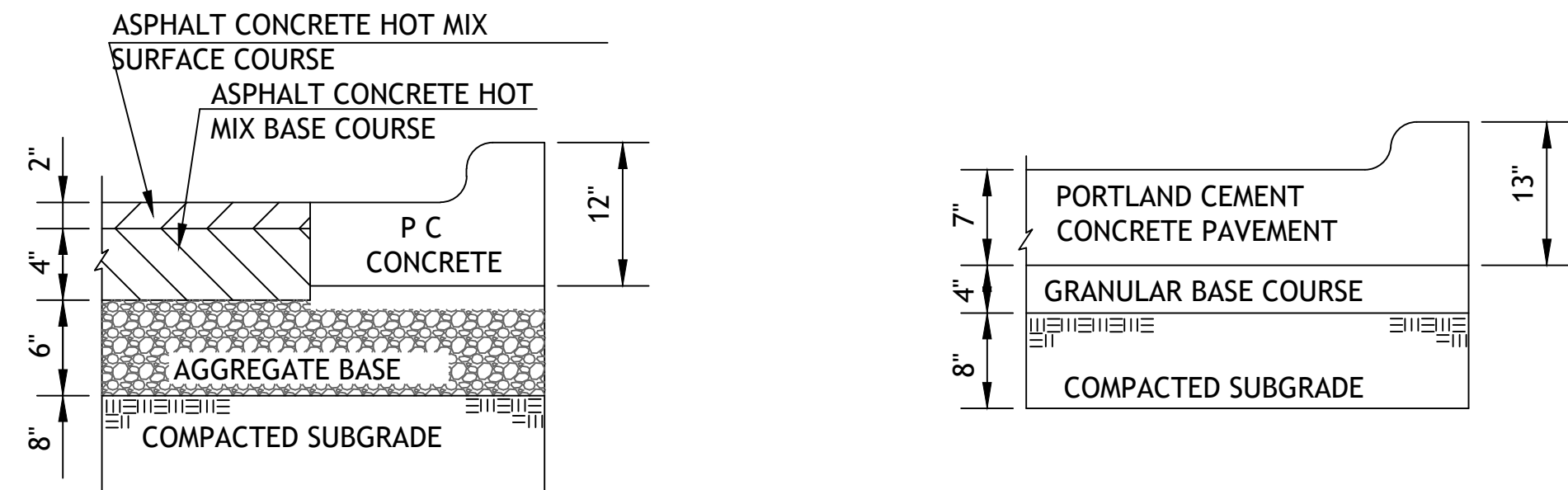
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REGULAR DUTY PAVING



HEAVY DUTY ASPHALT

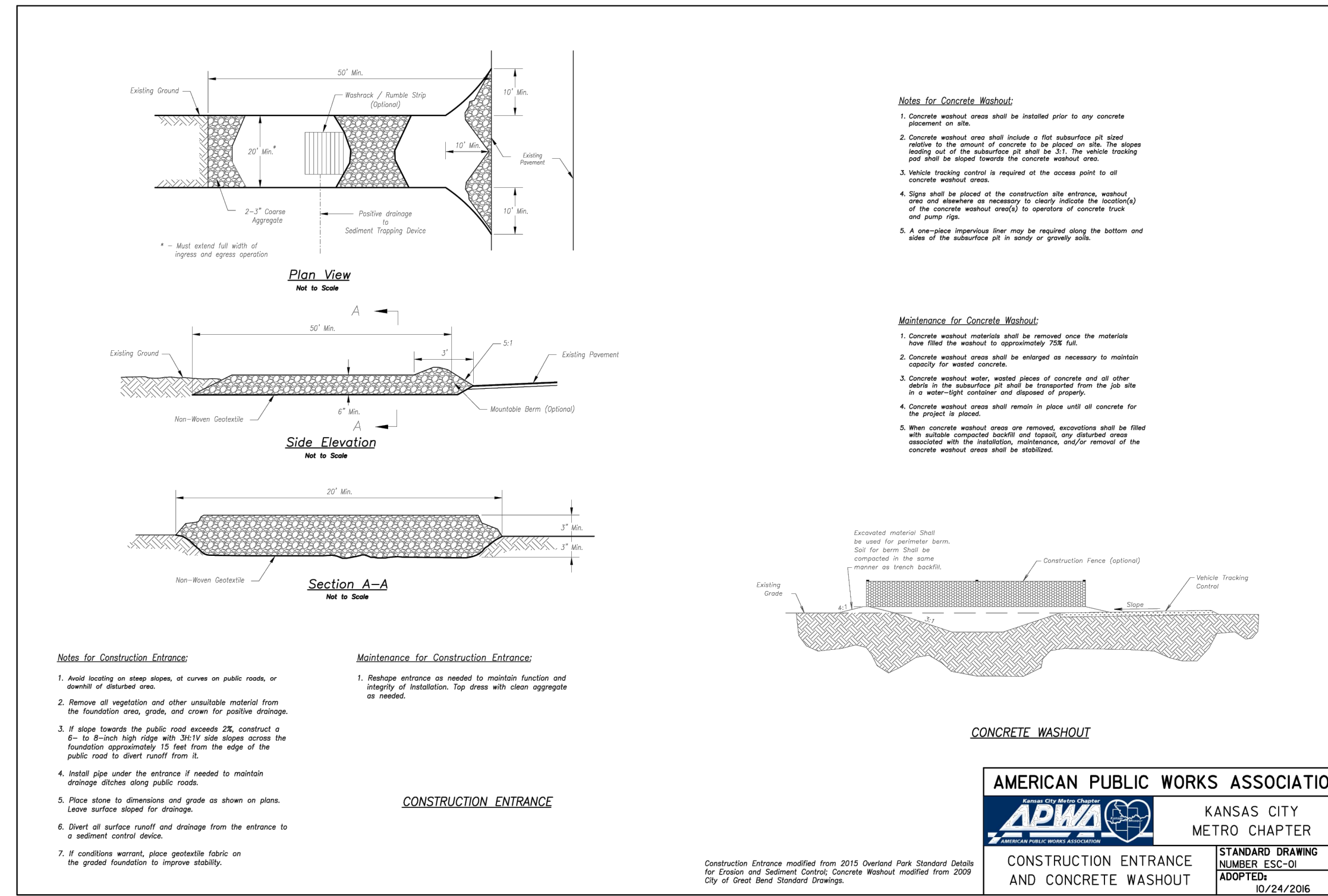
HEAVY DUTY CONCRETE

1. FLEXIBLE PAVEMENT SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MISSOURI DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.

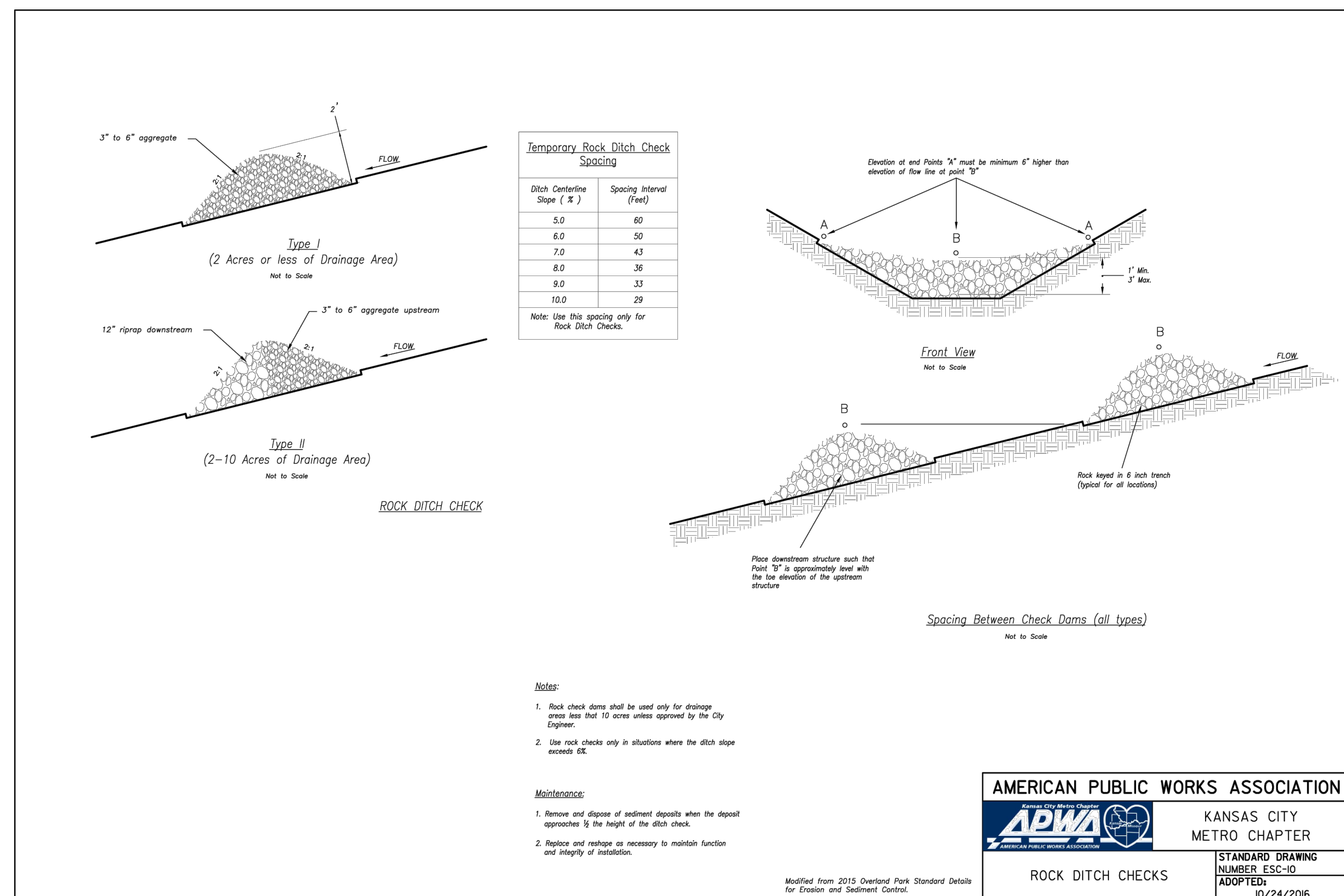
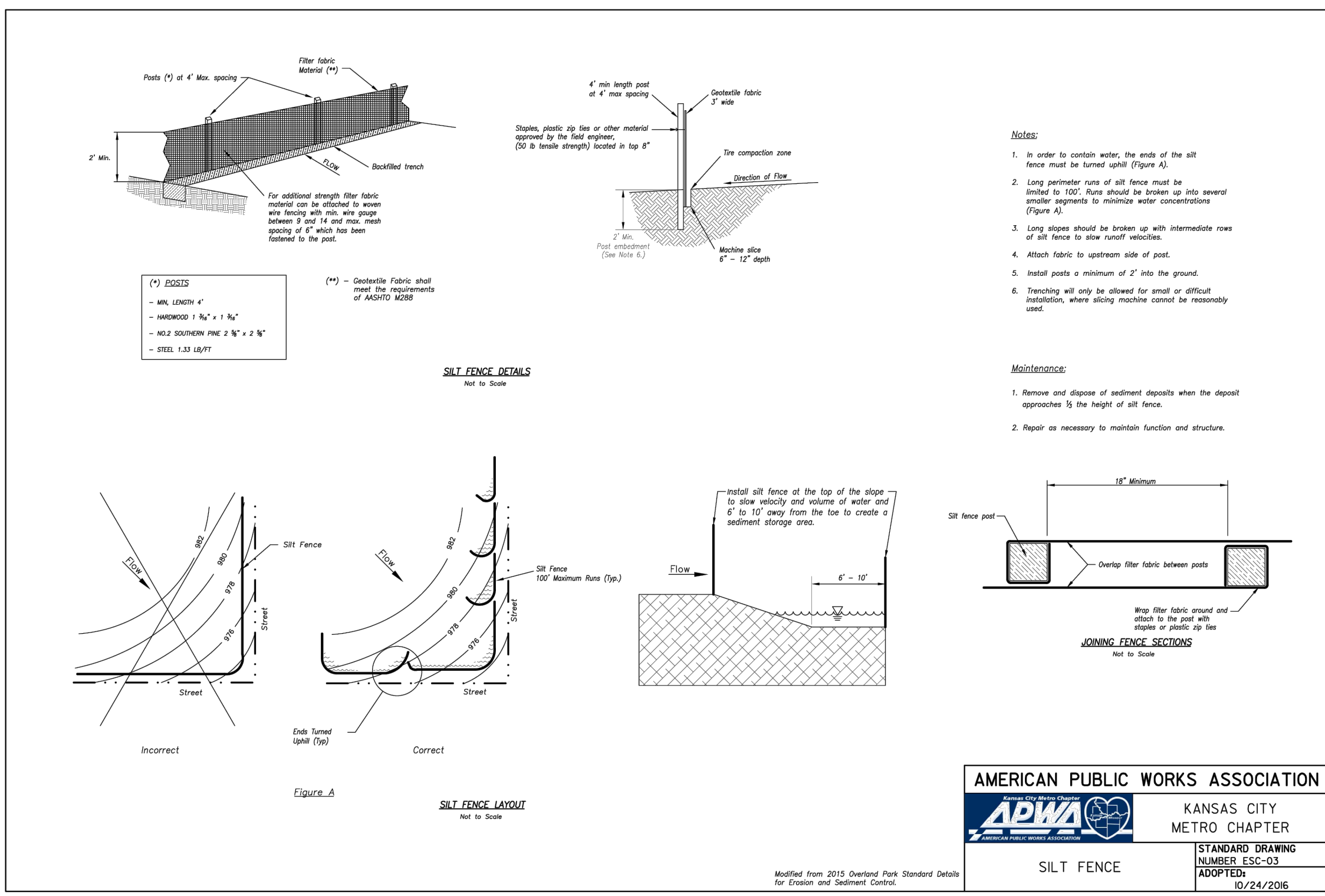
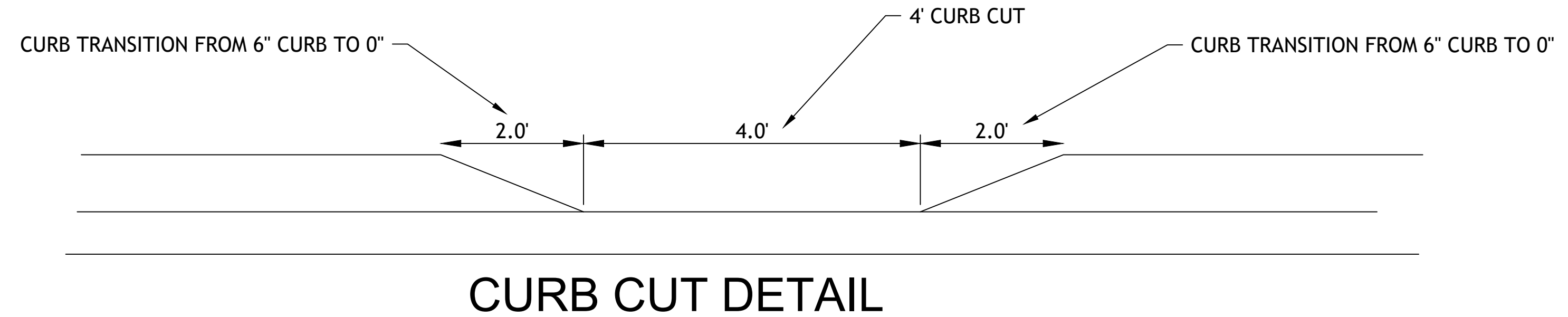
ASPHALT SURFACE COURSE - APWA TYPE 3-01
 ASPHALT BASE COURSE - APWA TYPE 1-01
 AGG BASE-MODT TYPE 5

2. PORTLAND CEMENT CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS WITH 6% ENTRAINED AIR ±2% AND SHALL MEET OR EXCEED THE SPECIFICATIONS SET FORTH IN THE LATEST EDITION OF THE KANSAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.

3. HEAVY DUTY CONCRETE IS AN OPTIONAL PAVEMENT FOR DETAIL 041 HEAVY DUTY ASPHALT. WHEN PLANS SPECIFY DETAIL 042 NO ALTERNATES ARE ALLOWED.



AMERICAN PUBLIC WORKS ASSOCIATION
APWA KANSAS CITY METRO CHAPTER
 CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT
 STANDARD DRAWING NUMBER: ESC-03 ADOPTED: 10/24/2016



SHEET TITLE: DETAILS

PROJECT: BRANCHED OUT PLAZA
 PREPARED FOR: BRANCHED OUT GUTTERS, LLC
 TAX MAP No.: 04-05-16-100-007-031.001
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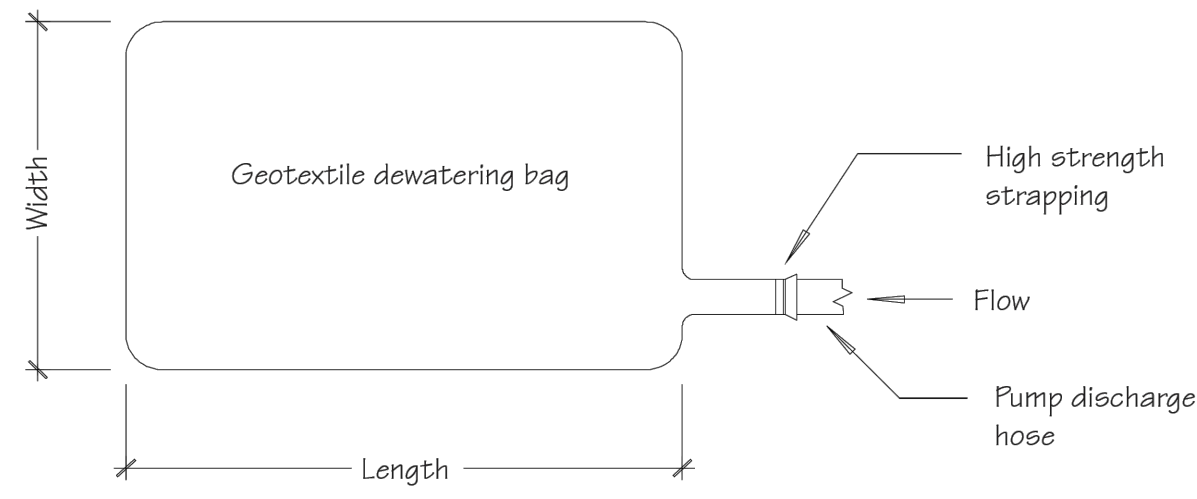
AMERICAN PUBLIC WORKS ASSOCIATION
APWA KANSAS CITY METRO CHAPTER
 ROCK DITCH CHECKS
 STANDARD DRAWING NUMBER: ESC-03 ADOPTED: 10/24/2016

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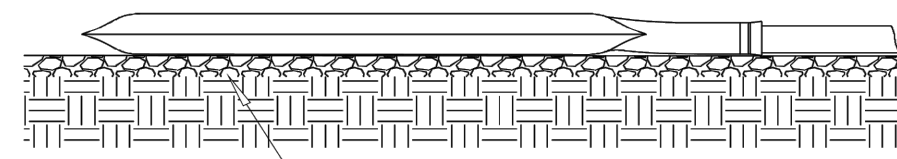
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DRAWN BY:	CHECKED BY:	DATE: 7-14-25
		SCALE:
		PROJECT No.:
		SHEET No.: 8

Geotextile Dewatering Bag



Plan



Profile

NOTE: Pre-manufactured products installed in accordance with manufacturer's recommendations may be used as an equivalent substitute with Departmental approval.

Geotextile Dewatering Bag



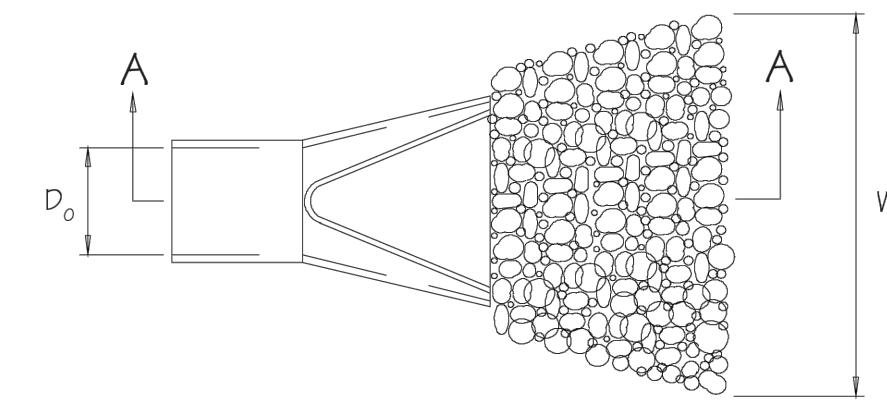
Construction Notes:

- The dewatering bag should be placed so the incoming water flows into and through the bag, and then flow off the site without creating more erosion. The neck should be tied off tightly to stop the water from flowing out of the bag without going through the walls. The dewatering bag should be placed on a gravel bed to allow water to flow in all directions.
- The dewatering bag is considered full and should be disposed when it is impractical for the bag to filter the sediment out at a reasonable flow rate. At this point, it should be replaced with a new bag.
- Disposal may be accomplished as directed by the construction reviewer. If the site allows, the bag may be buried on site and seeded, visible fabric removed and seeded or removed from site to a proper disposal area.

Materials:

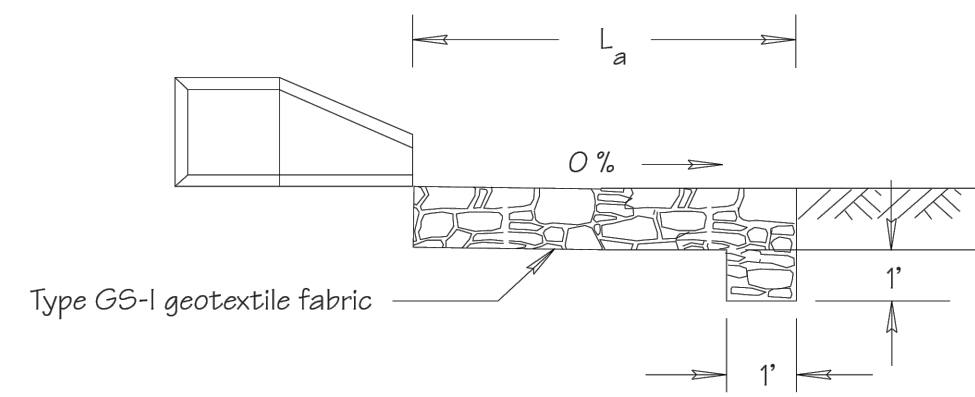
- The geotextile fabric shall be a Type GD-IV.
 - The dewatering bag shall be sewn with a double needle machine using high strength thread. All structural seams will be sewn with high strength, double stitched "J" type. Seam strength test will have the following minimum average roll values:
- | Type | TEST METHOD | TEST RESULT |
|------------|-------------|-------------|
| Heavy duty | ASTM D-4884 | 100 lb / in |
- The dewatering bag shall have an opening large enough to accommodate a four (4) inch discharge hose with attached strap to tie off the hose to prevent the pumped water from escaping from the bag without being filtered.

Standard Detail & Specifications Riprap Outlet Protection - 1



Plan

NOTE: Depress centerline of apron slightly to prevent edge-cutting



Type GS-I geotextile fabric

NOTE: Key into exist. gnd

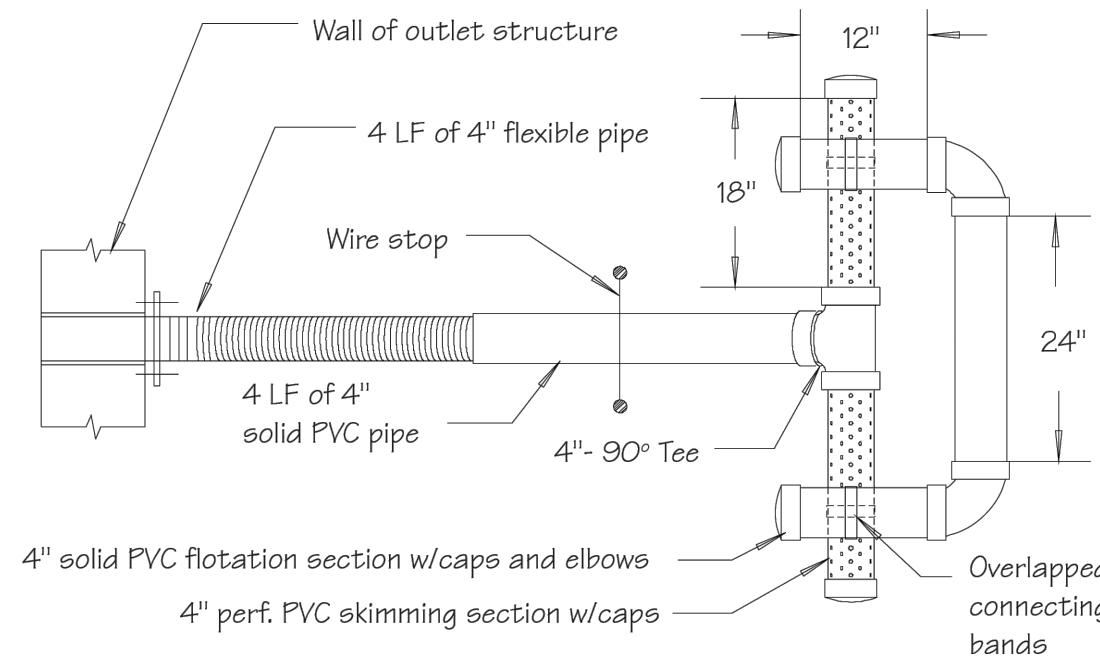
Section A-A

DATA

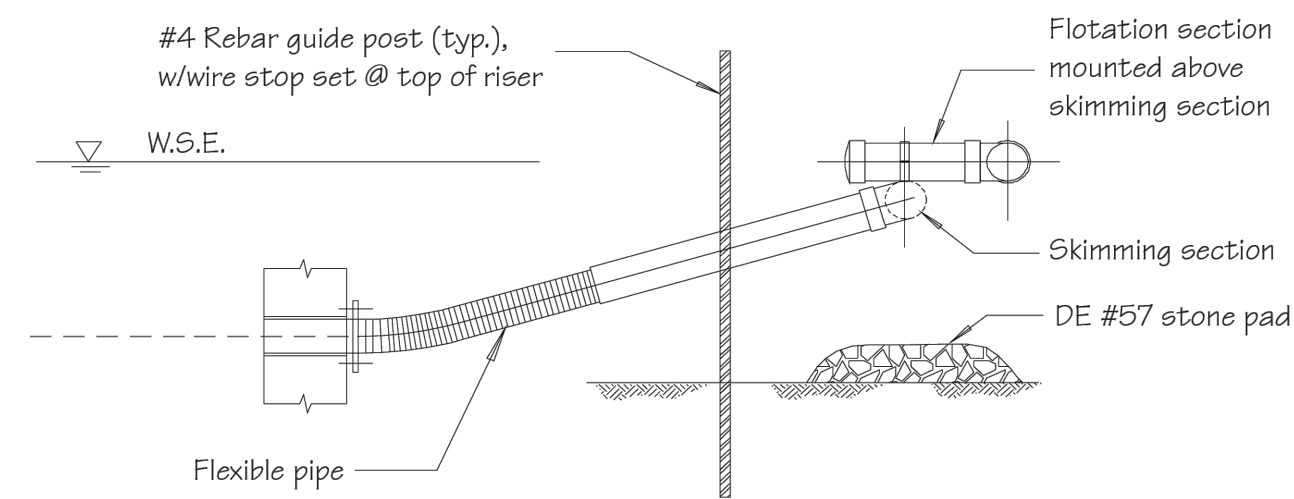
- Pipe diameter (D_p)
- Apron length (L_a)
- Apron width (W)
- Riprap size (R No.)
- Riprap thickness (T)

$$T_w < 0.5 D_p$$

Skimmer Dewatering Device



Plan



Profile thru C of Pipe



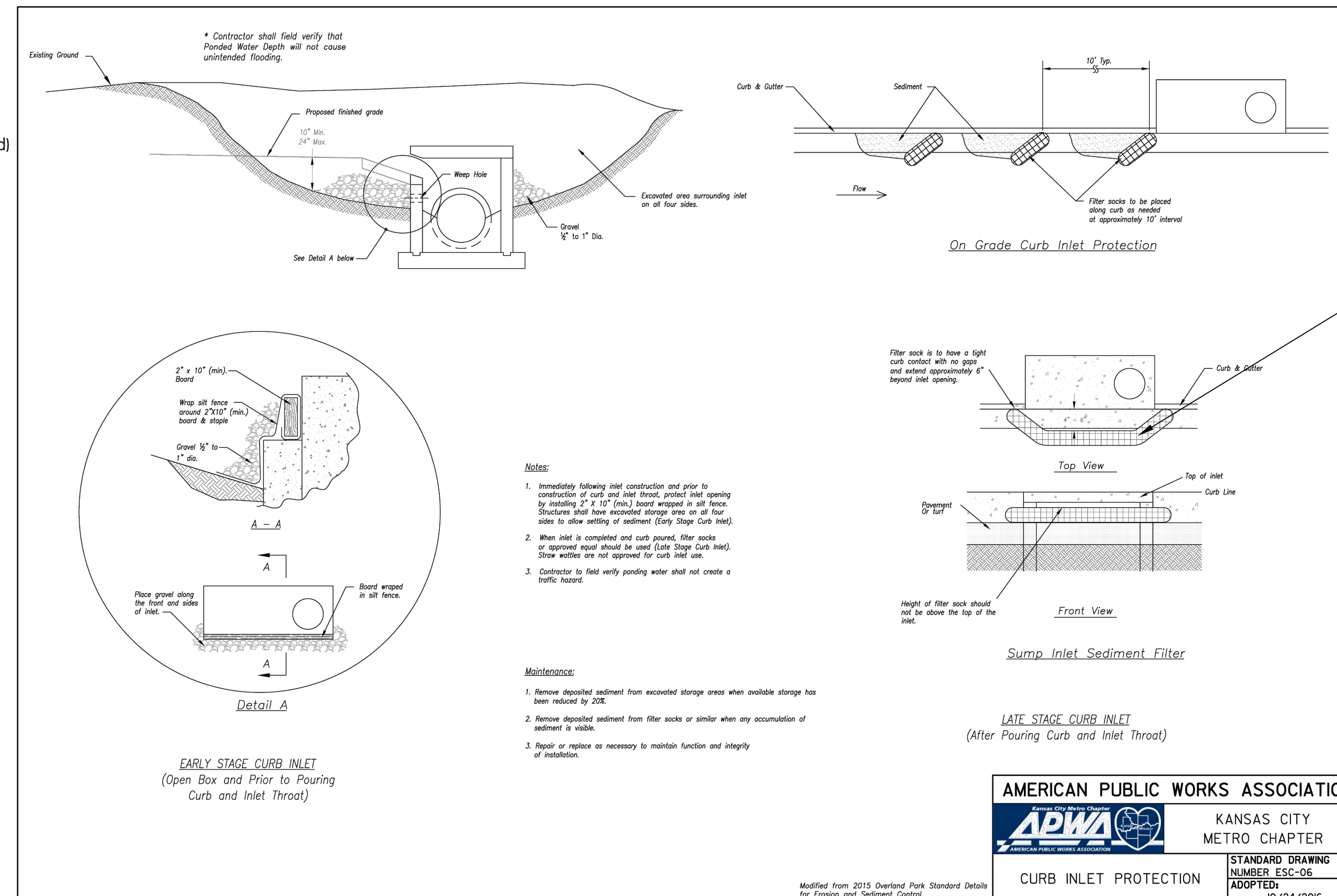
Skimmer Dewatering Device

Construction Notes:

- Pipe flotation section shall be solvent welded to ensure an airtight assembly. Contractor to conduct a test to check for leaks prior to installation.
- Skimmer section shall have (12) rows of 1/2" dia. holes, 1-1/4" on center. If additional filtration is necessary, the filtering media shall consist of a Type GD-II geotextile fabric wrapped around the perforated portion of the skimmer and attached with plastic snap ties, bands, etc.
- Flexible pipe shall be inserted into solid pipe and fastened with (2) #8 wood screws.
- At a minimum, the structure shall be inspected after each rain and repairs made as needed. If vandalism is a problem, more frequent inspection may be necessary.
- Construction operations shall be carried out in such a manner that erosion and water pollution are minimized.
- The structure shall only be removed when the contributing drainage area has been properly stabilized.

Materials:

- Solid pipe - 4" Sched. 40 PVC
- Perforated pipe - 4" Sched. 40 PVC
- 90° Tee (1 ea.) - 4" Sched. 40 PVC
- 90° Elbow (2 ea.) - 4" Sched. 40 PVC
- Cap (4 ea.) - 4" Sched. 40 PVC, solid
- Flexible pipe - 4" corrugated plastic tubing (non-perforated)



CURB CUT PROTECTION

SHEET TITLE: DETAILS

PROJECT:
BRANCHED OUT PLAZA

PREPARED FOR:
BRANCHED OUT GUTTERS, LLC
TAX MAP No.: 04-05-16-100-007-031.001
SEC,TWP,RNG: 16-46-32
COUNTY: CASS

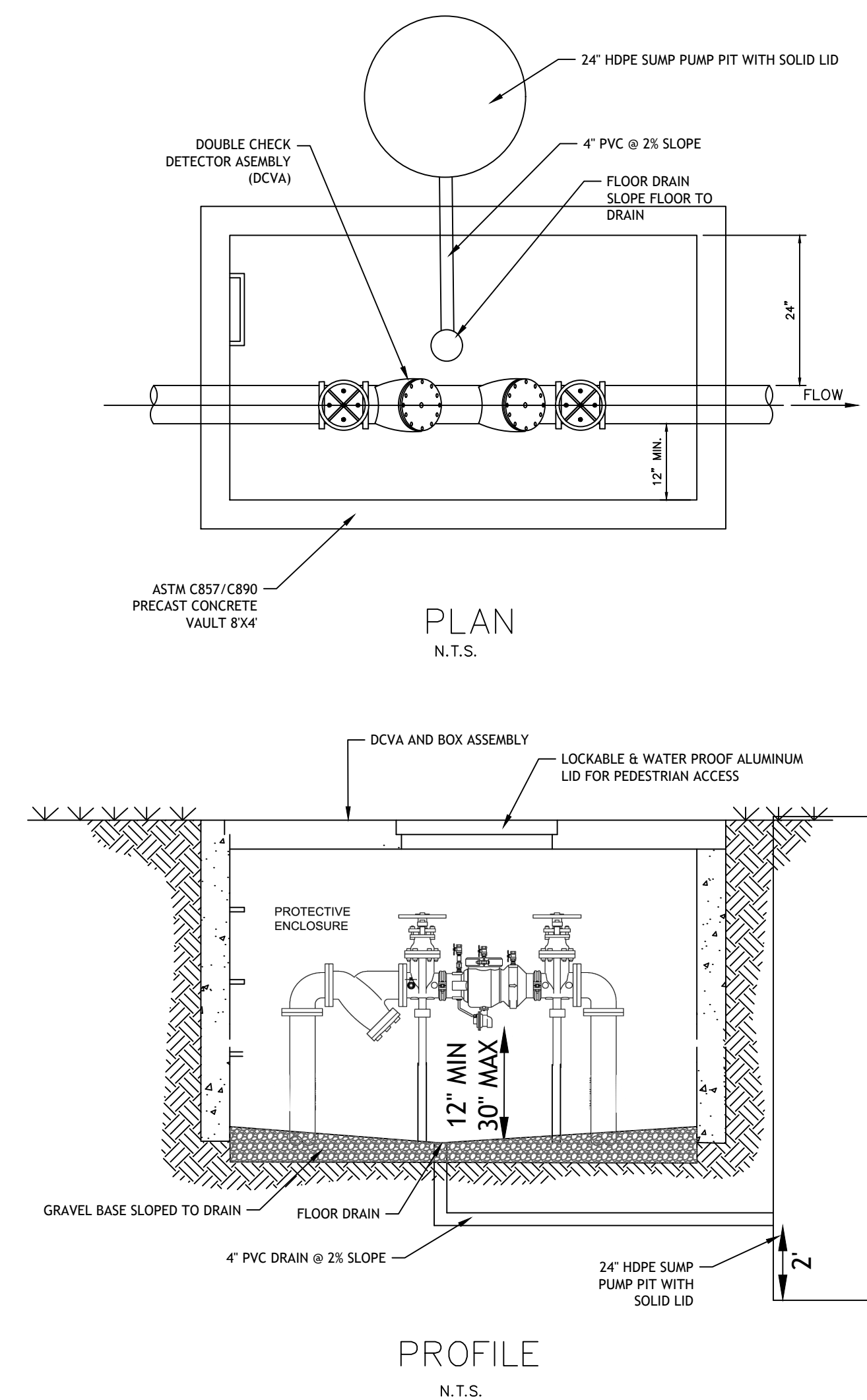
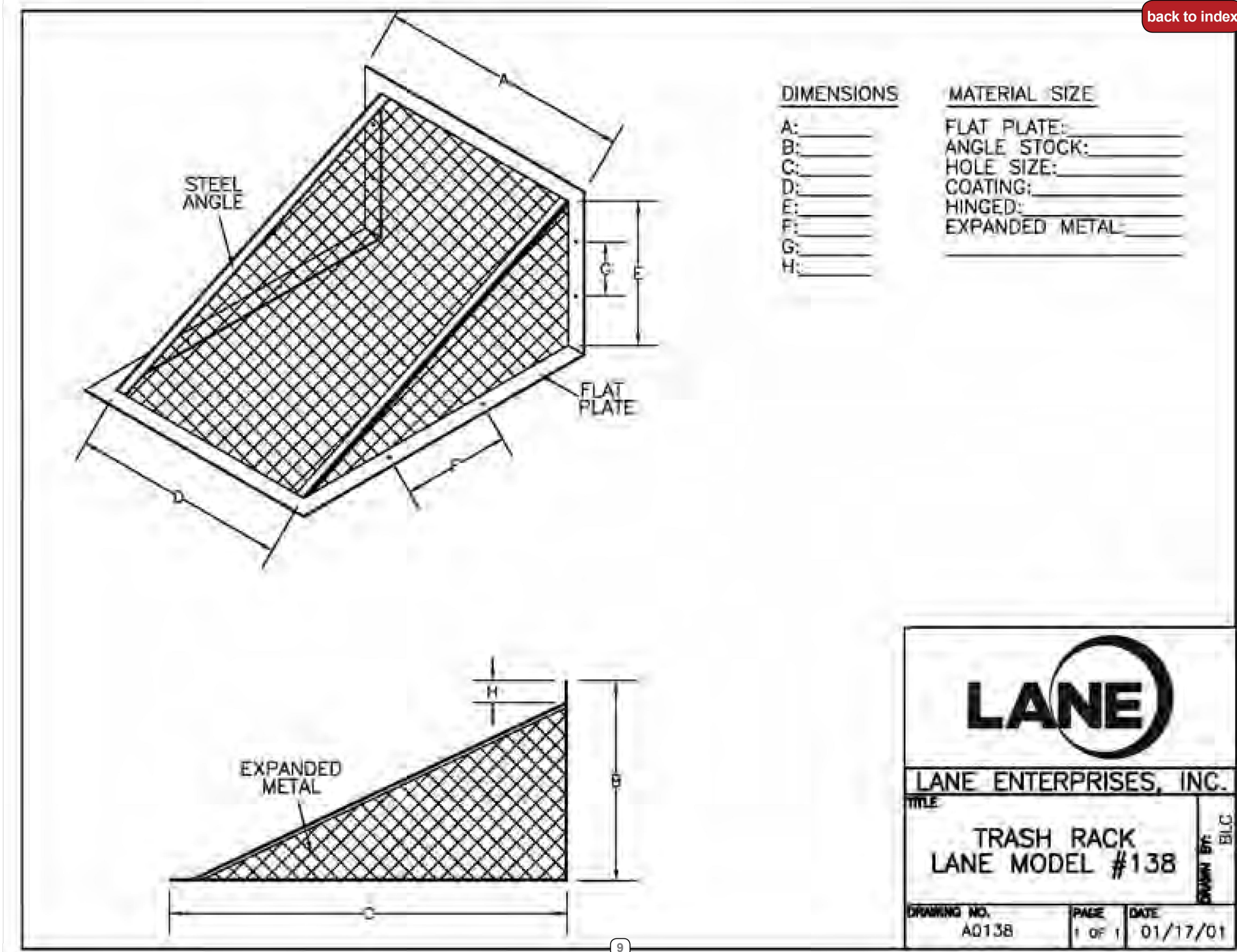
DATE	REVISION	CHKD.
12-22-25	CITY COMMENTS	TB
8-5-25	CITY COMMENTS	TB
DATE	REVISION	CHKD.
DRAWN BY:	CHECKED BY:	DATE: 7-14-25
		SCALE:
		PROJECT No.:
		SHEET No.: 9



*ENGINEERING*SERVICES*
SITE CONSULTING ENGINEERS, LLC
 PROFESSIONAL ENGINEERING COMPANY
 200 MISSOURI ROAD, SUITE 200, LEE'S SUMMIT, MO 64086
 (W) (913) 515-7209
 CA 2021010347
 "TODAY'S TECHNOLOGY YESTERDAY'S QUALITY"

NOTE:
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Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.



Agri Drain CORPORATION BAR GUARDS™

THE BAR GUARD INTAKE IS AN EXCELLENT CHOICE IN ANY SITUATION WHERE A LOW PROFILE, HIGH CAPACITY INTAKE IS REQ.

ITS UNIQUE DESIGN HELPS KEEP INTAKES FROM PLUGGING W/ CROP RESIDUE OR ANY OTHER TYPE OF TRASH.

THE BAR GUARD MAY ALSO PROTECT A POND FROM RODENT ENTRY.

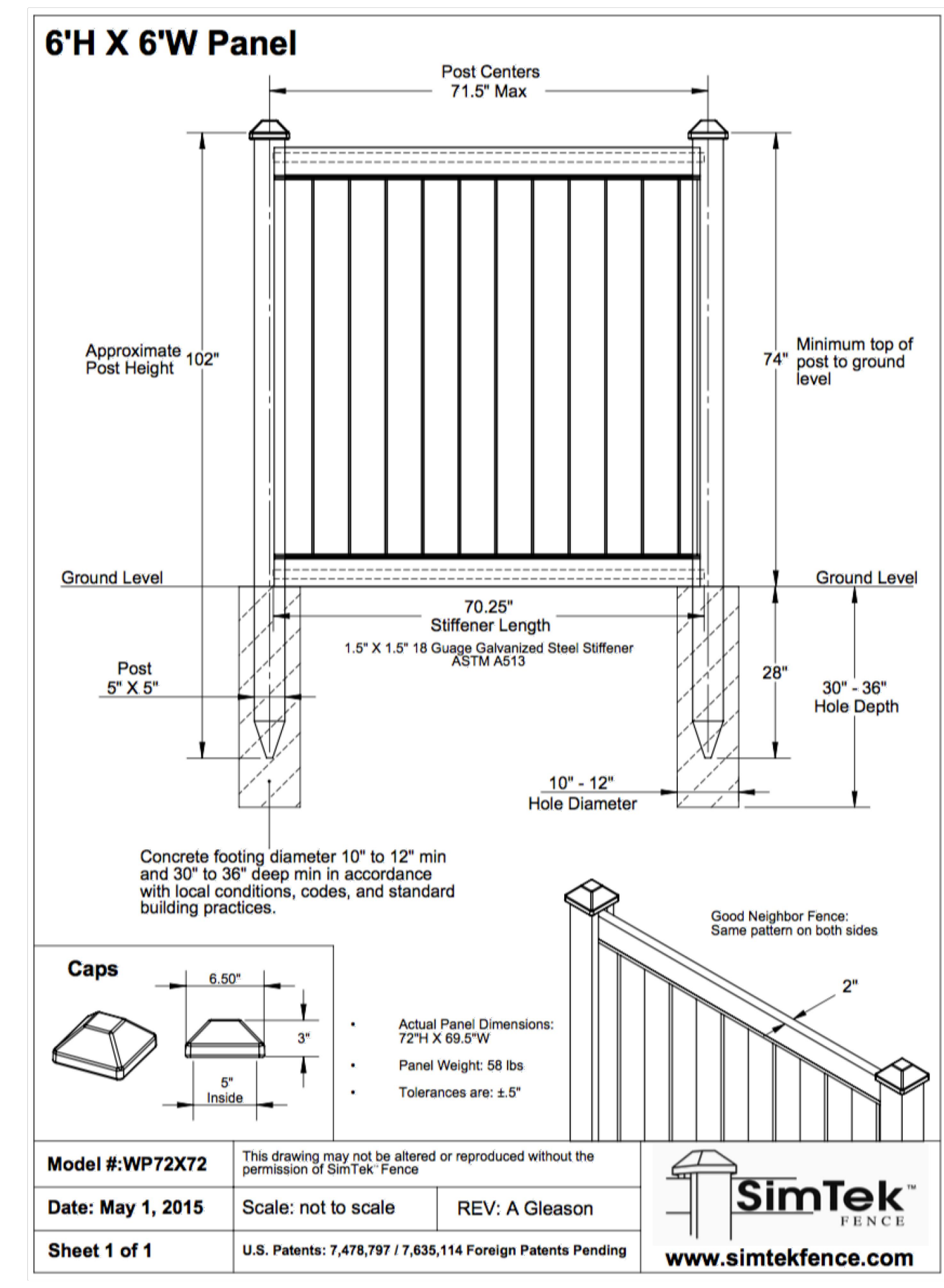
CONSTRUCTED OF 1/4" STEEL (5/16" STEEL ON 15" AND LARGER SIZES) FOR DURABILITY.

YELLOW POWDER COATED FINISH RESISTS CORROSION AND IS BRIGHTER FOR BETTER VISIBILITY.

Size	Price	Size	Price	Size	Price
4"	\$16	10"	\$22	18"	\$44
5"	\$17	10"-H*	\$22	21"	\$52
6"	\$18	12"	\$28	24"	\$60
8"	\$19	12"-H*	\$32	30"**	\$95
8"-H*	\$19	15"	\$36	36"**	\$125

*SPECIAL SIZED BAR GUARDS TO FIT HICKENBOTTOM INTAKES.
 **SPECIAL SIZED BAR GUARDS IN 2 PIECES. TWO HALVES BOLT TOGETHER (BOLTS, WASHERS, & NUTS ARE INCLUDED).

1462 340th Street*P.O.Box 458*Adair, Iowa 50002
 Ph-1-800-232-4742 Fax- 1-800-282-3353



6" DVCA BACKFLOW PREVENTER FOR PRIVATE FIRE SERVICE

SHEET TITLE:
DETAILS

PROJECT:
 BRANCHED OUT PLAZA

PREPARED FOR:
 BRANCHED OUT GUTTERS, LLC

TAX MAP No.: 04-05-16-100-007-031.001

SEC,TWP,RNG: 16-46-32

COUNTY: CASS



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SITE CONSULTING ENGINEERS, LLC
 PROFESSIONAL ENGINEERING COMPANY

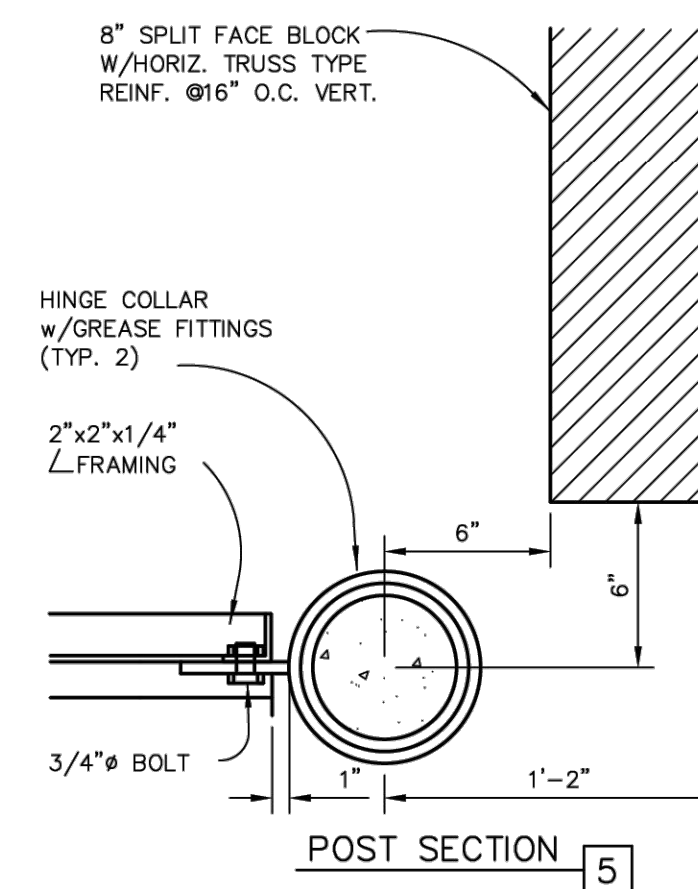
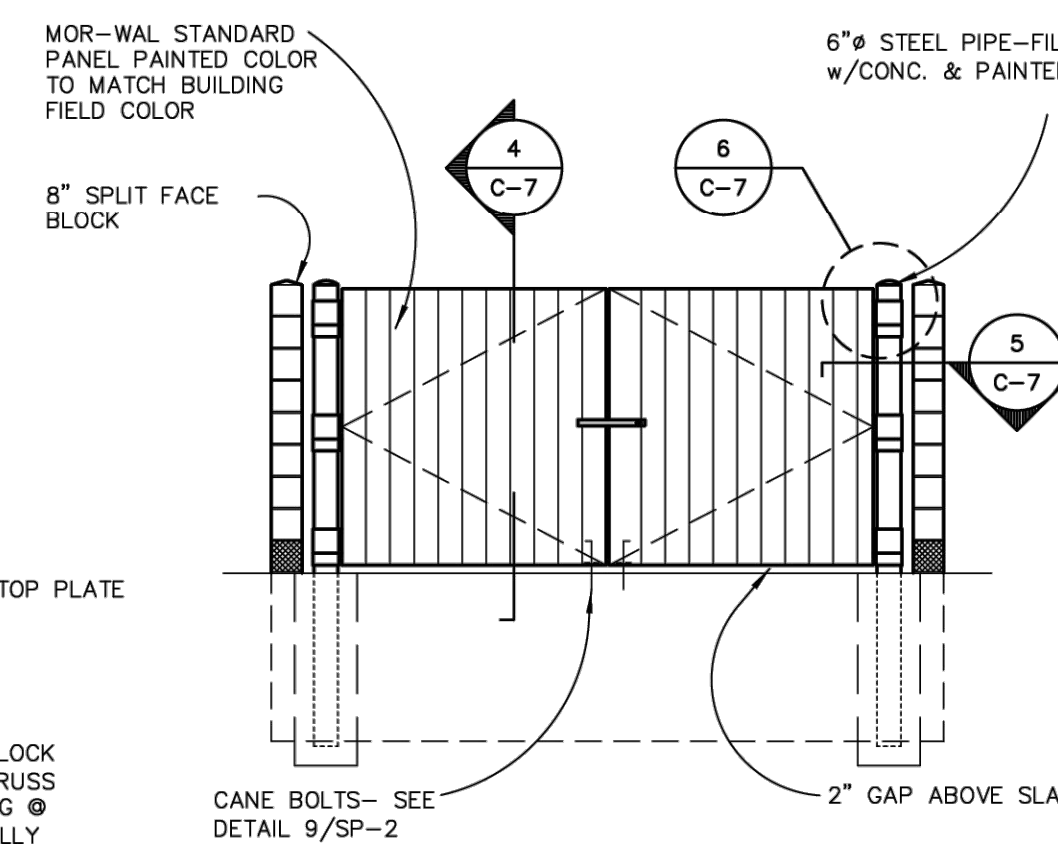
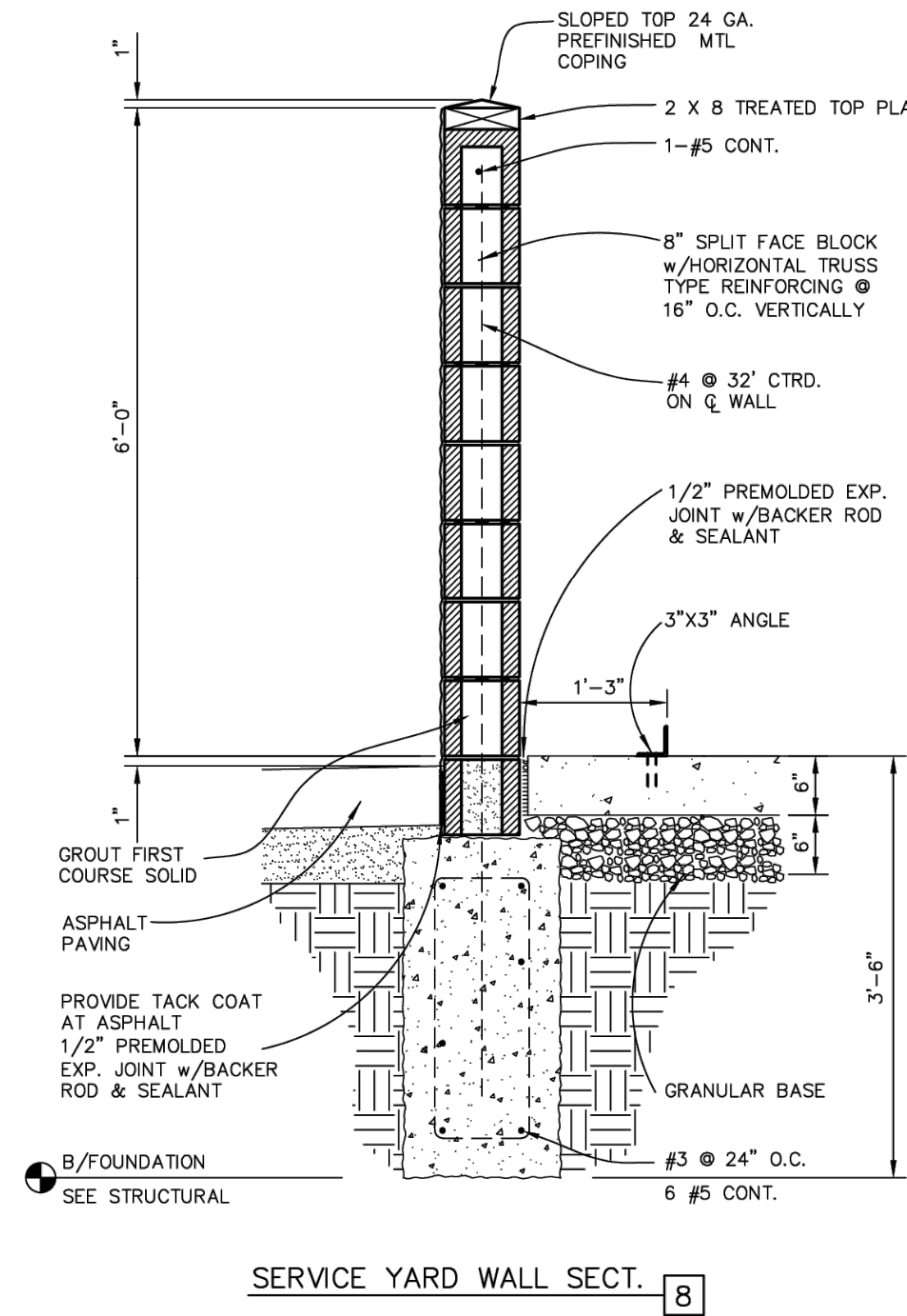
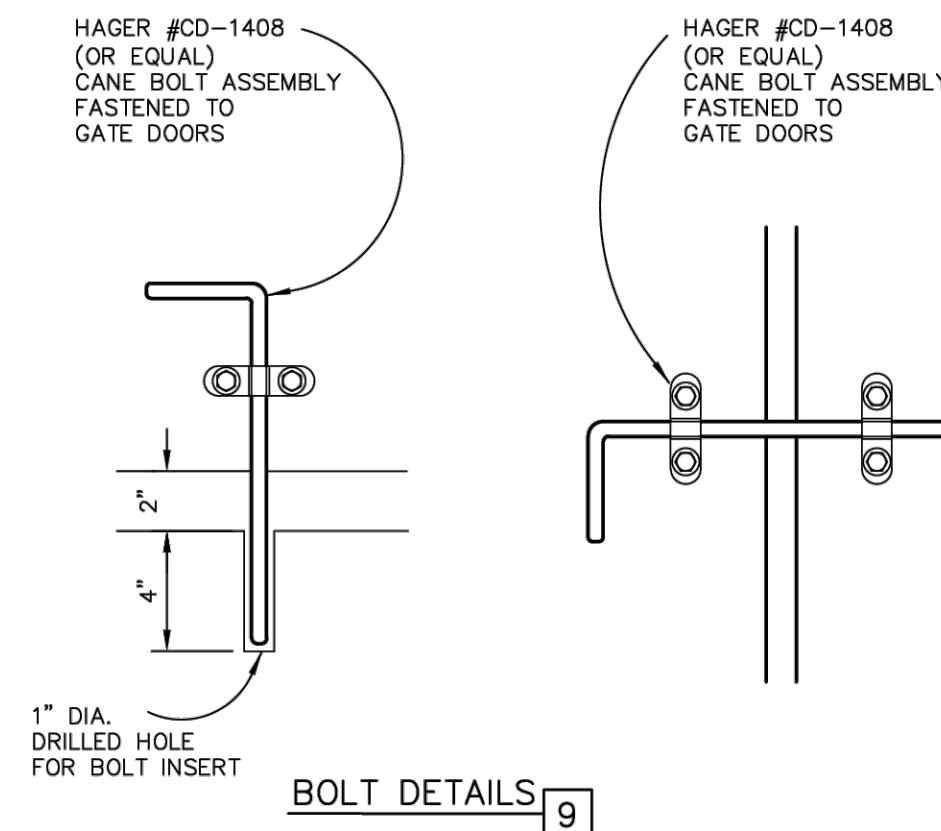
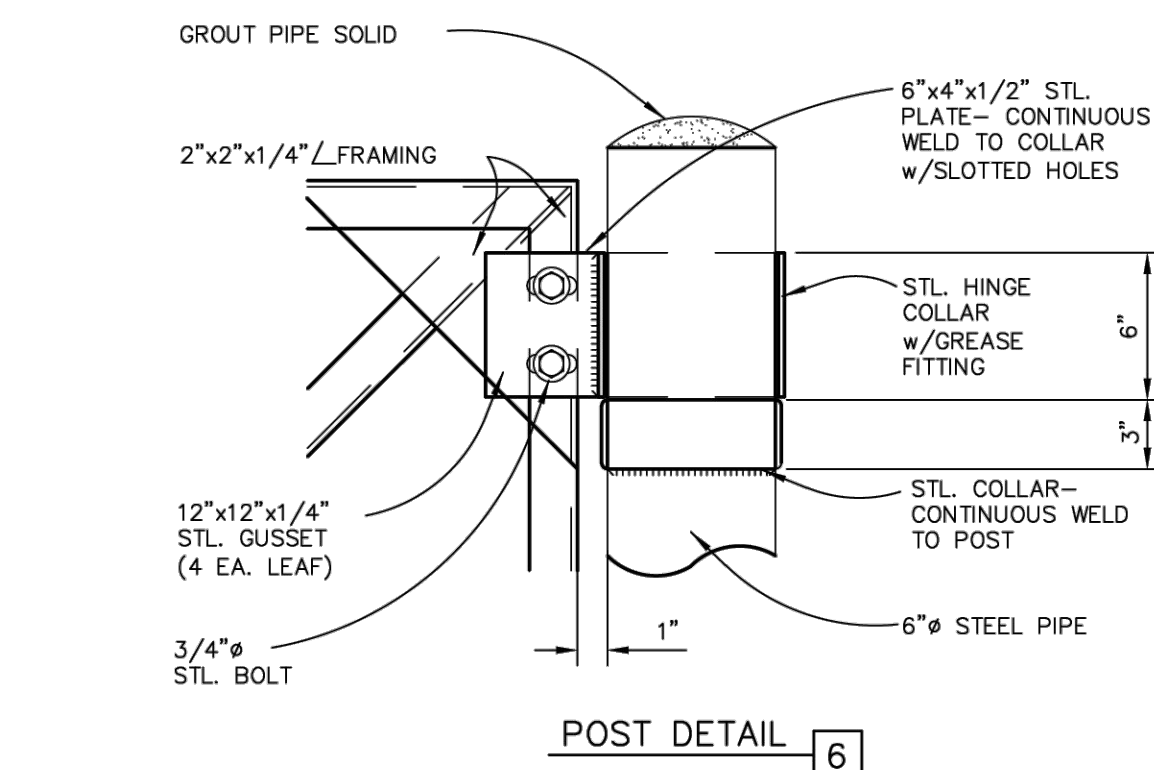
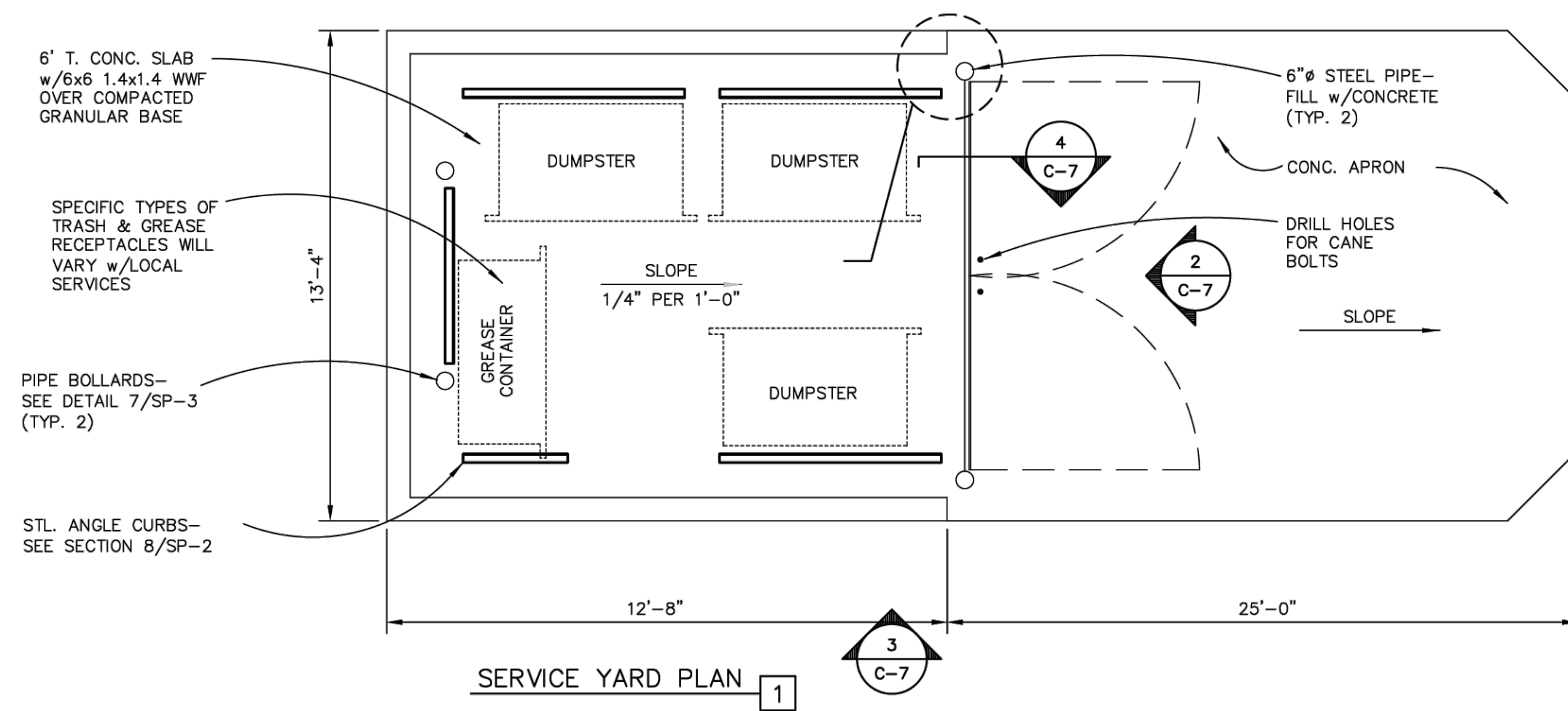
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"TODAY'S TECHNOLOGY*YESTERDAY'S QUALITY"

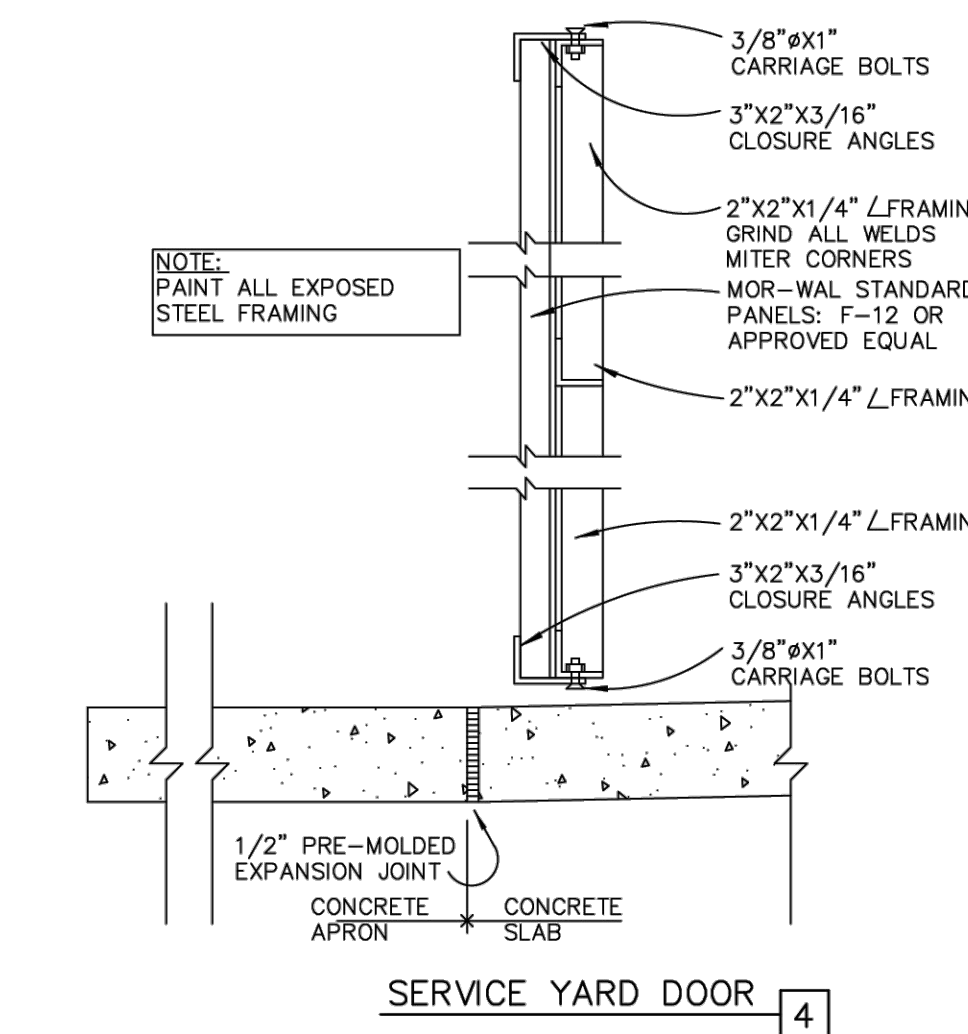
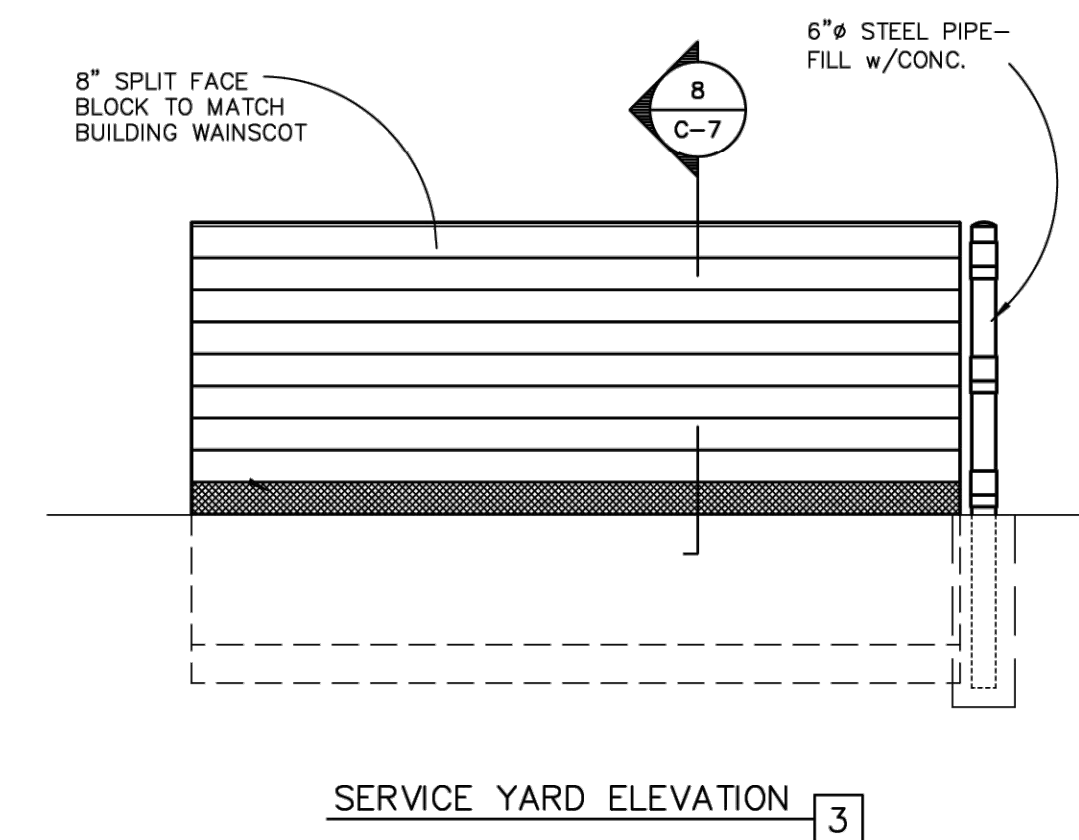
12-22-25	CITY COMMENTS	TB
8-5-25	CITY COMMENTS	TB
DATE	REVISION	CHKD.
DRAWN BY:	CHECKED BY:	DATE: 7-14-25
		SCALE:
		PROJECT No.:
		SHEET No.:

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Vinyl Fence Detail - Typical Section



SERVICE YARD DETAILS 852



SHEET TITLE:
DETAILS

PROJECT:
BRANCHED OUT PLAZA

PREPARED FOR:
BRANCHED OUT GUTTERS, LLC
TAX MAP No.: 04-05-16-100-007-031.001
SEC,TWP,RNG: 16-46-32
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DATE	REVISION	CHKD.
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Chapter 440

GENERAL DEVELOPMENT AND PERFORMANCE STANDARDS

- § 440.010. Building Design Standards. § 440.030. Fences.
- § 440.020. Performance Standards. § 440.040. Intersection Visibility.

§ 440.010. Building Design Standards. [Amendment 13 - Ordinance 2012-074, 9-24-2012; Amendment 33 - Ordinance 2020-068, 11-23-2020]

- A. Applicability.
- The regulations of this section apply to all commercial uses regardless of location, and to industrial uses within three hundred (300) feet of any street designated by the City as a collector, minor arterial or major arterial, or are within five hundred (500) feet of any residentially zoned property.
 - Large retail sales uses (on sites that include, in aggregate, one hundred thousand (100,000) square feet or more of gross floor area) shall also comply with the regulations of Section 420.030G. Where the regulations conflict with the requirements of this section, the more restrictive requirement will control.
 - The standards of this section apply to all walls of buildings. For purposes of this section, the front wall is the wall most parallel to the adjacent right-of-way. Where uncertainty exists as to the applicability of these regulations, a determination will be made by the Development Services Director.
 - Additions to existing buildings may be permitted by the Planning and Zoning Commission where the addition does not meet strict compliance to this section. The purpose of this section is to continue a similar exterior architectural treatment where appropriate, and to reduce the appearance of an addition being added to the building.

B. Building Location and Design.

- Relationship to Adjacent Development.
 - A façade consisting of a single undifferentiated plane with a single texture or color, excluding windows, doors or overhead doors, is prohibited.
 - A minimum of fifteen percent (15%) of the area of each façade shall be recessed, projected, or alternately staggered from the primary plane of the wall not less than one (1) foot in depth or projection, excluding windows, doors or overhead doors.
 - Where large structures are proposed with overly long facades (walls), where one (1) dimension exceeds the length of the perpendicular dimension, such as warehouses, building mass shall be articulated with variations of a depth to create shadows visible from the nearest adjacent street in the building plane and parapet height and through the use of other unique design, landscape or site plan features.
 - Overly long horizontal facades shall be articulated. Variation in the building plane, parapet height, materials, colors, entrance canopies and landscaping can be used to add articulation and variation to a façade. Parking lots along the facade can also relieve the plane horizontally through the use of landscaped fingers and islands containing trees and shrubs.
 - Monotony of design in single or multiple building projects shall be avoided. Variation of detail, form and siting shall be used to provide visual interest.
 - Long expanses of overhead doors should be relieved by matching their color to the wall or trim, recessing the doors, or adding architectural details to diminish the dominance of the doors.

C. Building Materials.

- Masonry Construction. A minimum of fifty percent (50%) of front and side façades shall consist of materials described by this sub-section.
 - Masonry construction shall include all masonry construction which is composed of solid, cavity, faced or veneered-wall construction, or similar materials approved by the Planning and Zoning Commission.
 - Stone materials used for masonry construction may consist of granite, sandstone, slate, limestone, marble or other hard and durable all-weather stone. Ashlar, cut stone and dimensioned stone construction techniques are acceptable.
 - Brick material used for masonry construction shall be composed of hard-fired (kiln-fired), all weather common brick or other all-weather common brick or all-weather-facing brick.
 - Concrete finish or precast concrete panel (tilt wall) construction shall be exposed or aggregate, hammered, sandblasted or other finish as approved by the Planning and Zoning Commission.
 - Stucco or approved gypsum concrete/plaster materials are also permitted.
 - If EIFS or wood is the primary material utilized on a building, the bottom three (3) feet of the building shall be constructed of brick, stone or other similar material.
- Glass Walls. Glass walls shall include glass-curtain walls or glass-block construction. A glass-curtain wall shall be defined as an exterior wall which carries no floor or roof loads and which may consist of a combination of metal, glass and other surfacing materials supported in a metal frame.
- Metal Walls.
 - The use of metal siding is permitted only in industrial districts and only for side and rear facades. The materials used on the front facade shall be incorporated into any facade visible from a public street to break up the monotony of those facades.
 - The use of corrugated panels, with a depth of less than three-quarter (3/4) inch or a thickness less than U.S. Standard 26 gauge is prohibited.
 - The use of unpainted metal panels, excluding panels made from copper, weathering steel, or stainless steel, is prohibited. The color finish of metal panels and exposed fasteners shall have extended durability with high resistance to fade and chalk.
 - Corrugated metal facades shall be complemented with masonry, whether brick, stone, stucco or split-face block. Architectural metal panels may be an acceptable substitute for masonry. Appropriate landscaping shall be used to complement and enhance a building's design, color and material.

D. Building Form.

- The use of unusual shapes, color and other characteristics that cause new buildings to call excessive attention to them and create disharmony shall not be allowed.
- Architectural design shall create visual interest through the use of different textures, complementary colors, shadow lines and contrasting shapes. The use of walls in a single color, with little detailing or completely blank, is discouraged.
- Careful consideration of durable materials, proportions and shapes, emphasizing the importance of roofs as integral and embracing elements of the over-all design, is particularly important.
- Evaluation of building materials shall be based on the quality of its design and relationship and compatibility to building materials in the immediate neighborhood; and
- Architectural treatments (e.g., building materials, colors, facade design, roof lines, screening) shall be consistent and compatible on all sides. Treatment that is uniform on all sides will be deemed to meet the requirements of this principle. Adjacent land uses, visibility from public streets, use of screening devices (walls, fences, berms, landscaping) are criteria to be considered when varying this treatment. The applicant will have the burden of demonstrating the reasons for differing treatment on different sides (e.g., the need for truck access on one side and pedestrian access on another).

E. Mechanical Equipment Screening Requirements. Mechanical equipment shall be screened according to the requirements of Section 450.120.

F. Site Design.

- The form and proportion of buildings shall be consistent or compatible in scale, form, proportion, and design with others on the site.
- Buildings shall connect to sidewalks and other pedestrian connections within the site and to adjacent sites.
- Other site features must be reasonably compatible within the development, including signage materials or design and landscape location and design.
- Parking must be arranged within the site in such a way that all areas of the site may be accessed safely by pedestrians.

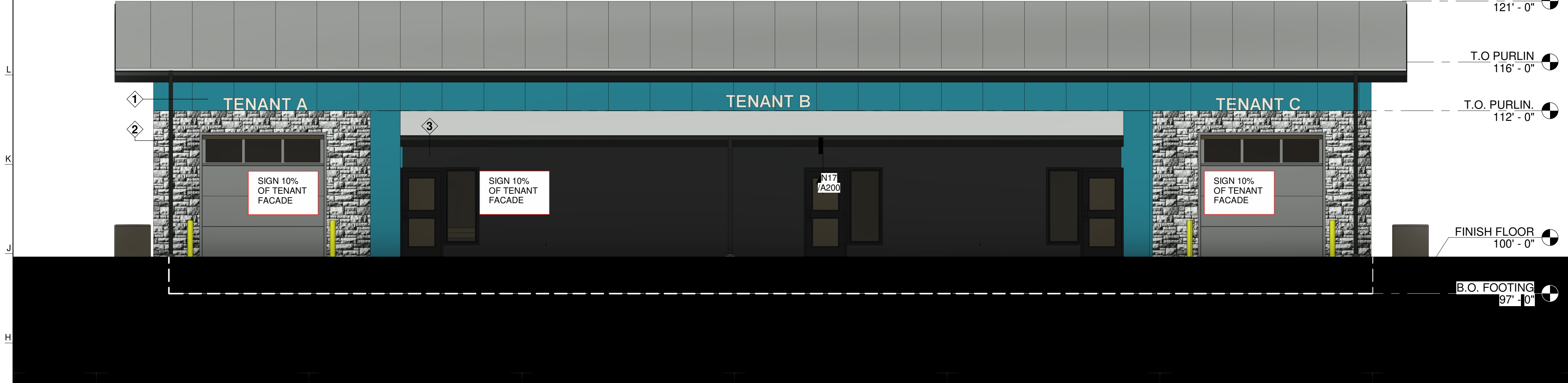


EAST REFERENCE BUILDINGS N13 NTS

EAST REFERENCE BUILDINGS N5 NTS

100% AREA= 1,433.88 SF

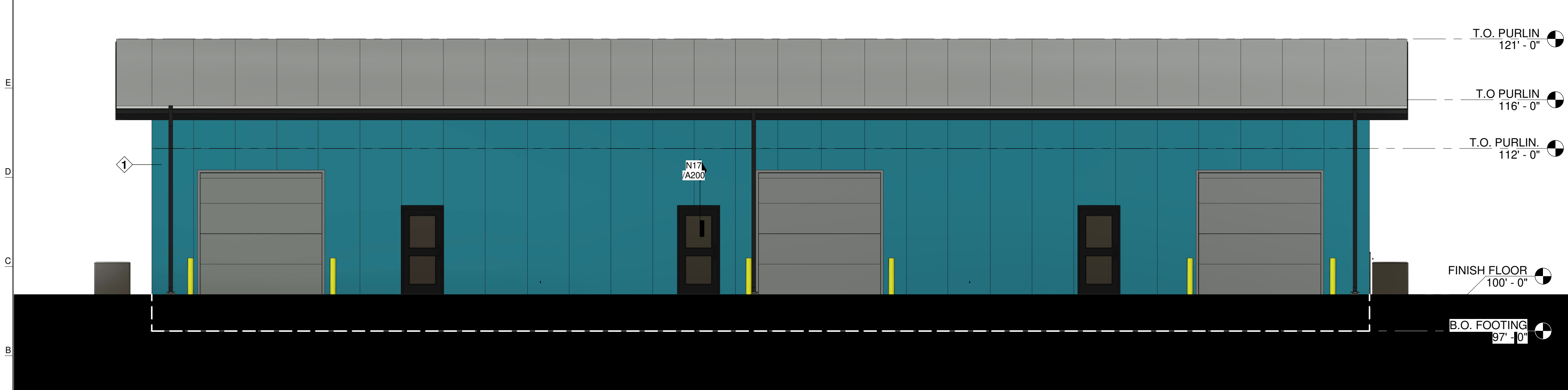
- 35% METAL= 496.17 SF
- 39% STUCCO= 560.32 SF
- 15% STONE= 213.42 SF
- 5% DOOR= 77 SF
- 14% GARAGE DOOR= 213.96 SF
- 2% WINDOWS= 18.59 SF



EAST G5
3/16"=1'-0" (24X36) | 3/32"=1'-0" (12X18)

100% AREA= 1433.88 SF

- 72% METAL= 1036.46 SF
- 5% DOOR= 77 SF
- 22% GARAGE DOOR= 320.94 SF



WEST A5
3/16"=1'-0" (24X36) | 3/32"=1'-0" (12X18)

JCA
JOWLER CREEK ARCHITECTURE
 15105 JOWLER CREEK ROAD
 CAMDEN POINT, MD 64018
 816.876.6794

ARCOR DESIGNS
 JESSICA ROMAN
 PLATTE CITY, MO 64079
 816.621.5222

STRUCTURAL ENGINEER
 S1 STRUCTURAL
 7700 SMP #104
 OVERLAND PARK, KS 66202
 PH: 913.735.7006

MPE ENGINEER
 CONSORTIUM
 10233 MILLSTONE DRIVE #4112
 LENEXA, KS 66220
 816.916.4675

NOT FOR CONSTRUCTION

BRANCHED OUT GUTTERS

2309 S BURR OAK CIRCLE
PECULIAR MO 64078

NO.	ISSUE/REVISION	DATE
1	PERMIT SET	

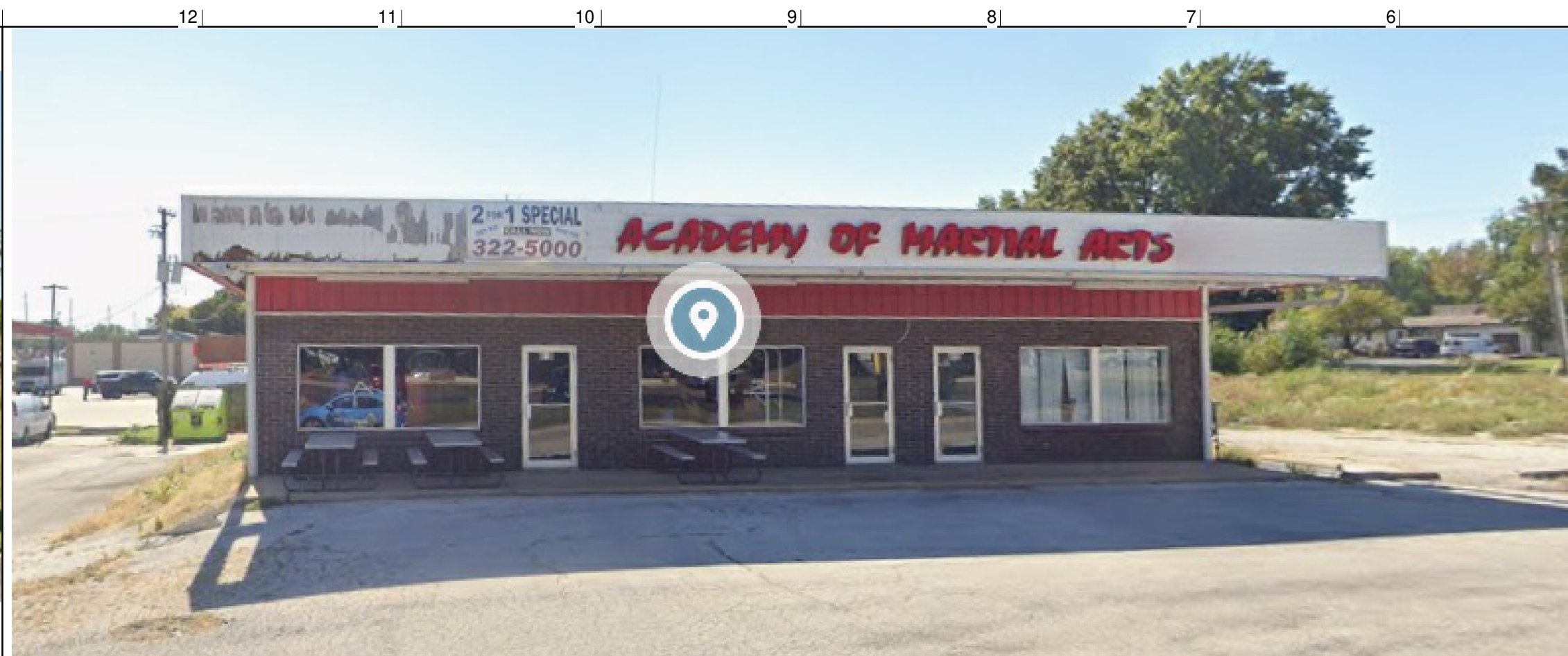
ELEVATIONS

A200.

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SOUTH REFERENCE BUILDINGS N13
NTS



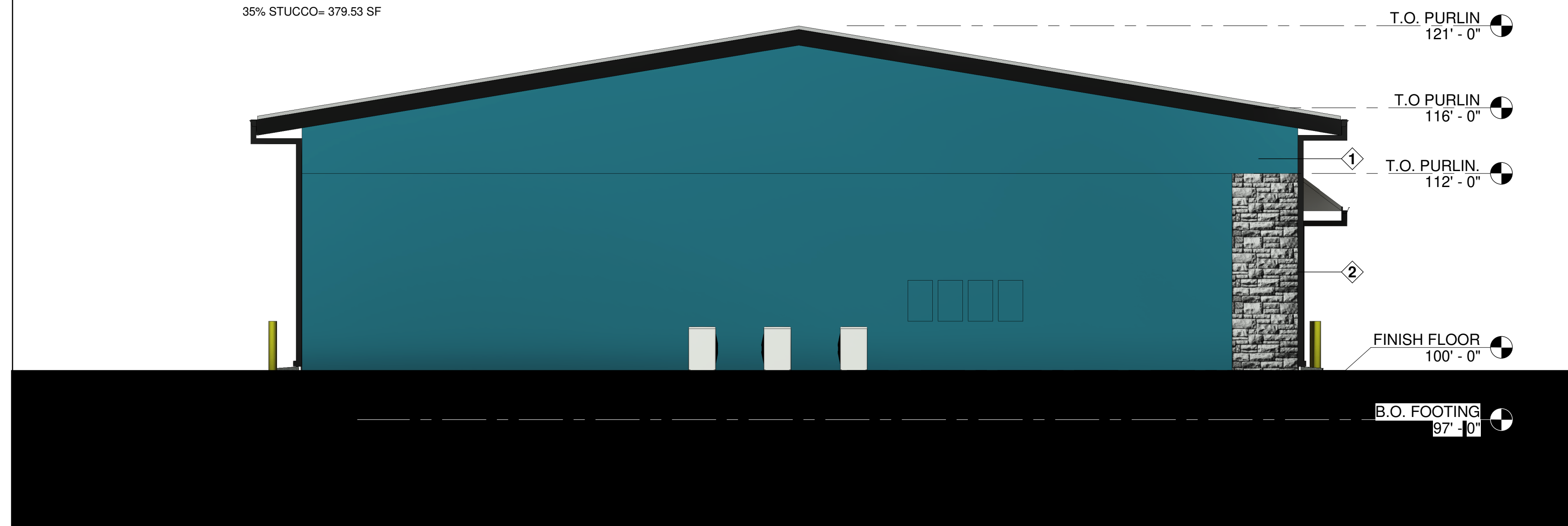
NORTH REFERENCE BUILDINGS N5
NTS

WALL MATERIAL TAKEOFF

	MATERIAL	AREA
1	METAL	3567 SF
2	STONE	312 SF
3	STUCCO	964 SF

100% AREA= 1049.24 SF

65% METAL= 728 SF
35% STUCCO= 379.53 SF

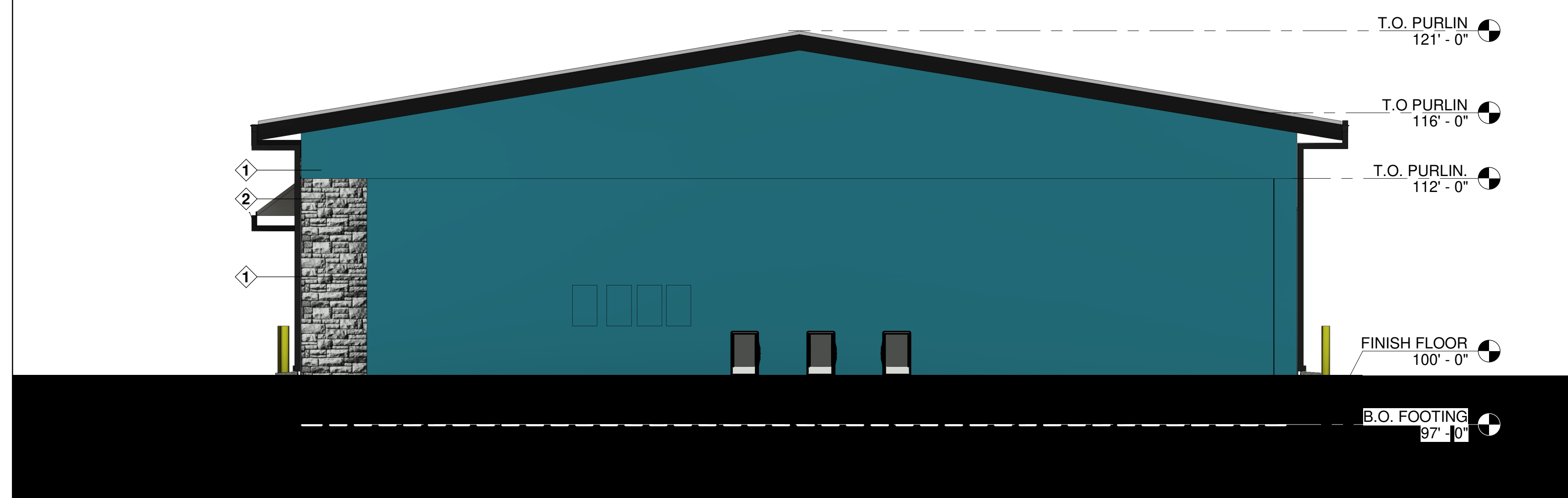


NOT USED G17
NTS

SOUTH J5
3/16"=1'-0" (24X36) | 3/32"=1'-0" (12X18)

100% AREA= 1049.24 SF

65% METAL= 728 SF
35% STUCCO= 379.53 SF



NOT USED A17
NTS

NORTH A5
3/16"=1'-0" (24X36) | 3/32"=1'-0" (12X18)

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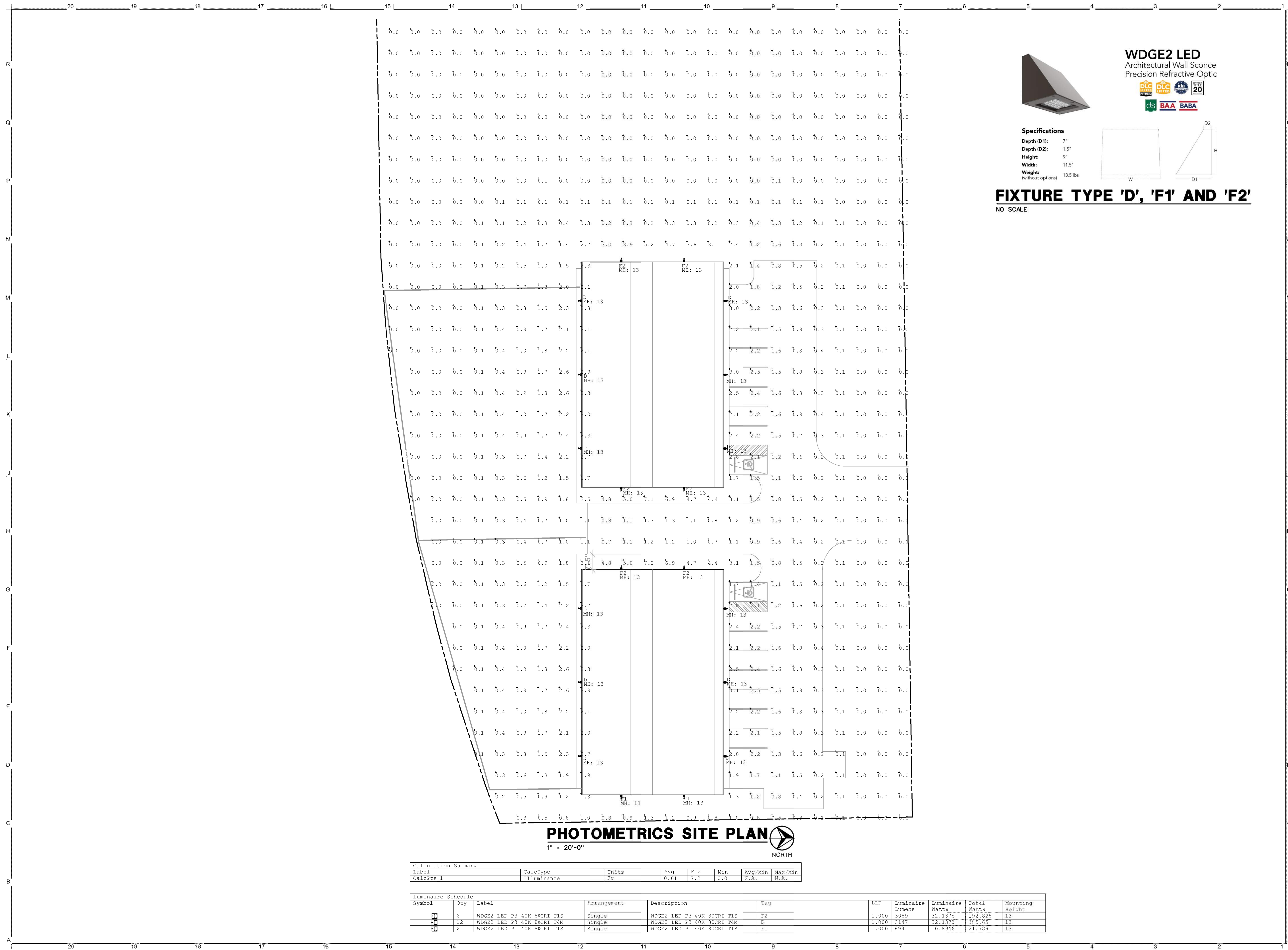
BRANCHED OUT GUTTERS

2309 S BURR OAK CIRCLE
 PECULIAR MO 64078

NO.	ISSUE/REVISION	DATE
1	PERMIT SET	

ELEVATIONS

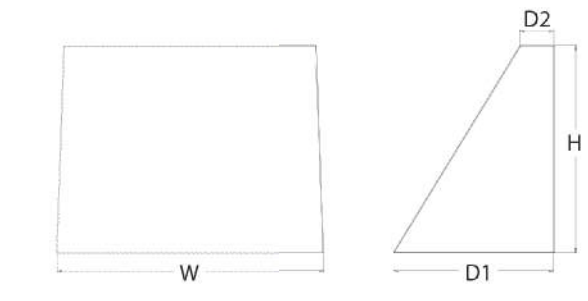
A201.



WDG2 LED
Architectural Wall Sconce
Precision Refractive Optic



Specifications
Depth (D1): 7"
Depth (D2): 1.5"
Height: 9"
Width: 11.5"
Weight: 13.5 lbs
(without options)



FIXTURE TYPE 'D', 'F1' AND 'F2'
NO SCALE

PHOTOMETRICS SITE PLAN
1" = 20'-0"
NORTH

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts 1	Illuminance	Fc	0.61	7.2	0.0	N.A.	N.A.

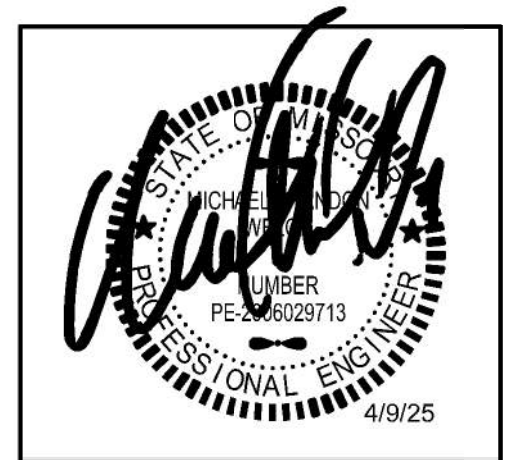
Symbol	Qty	Label	Arrangement	Description	Tag	LLF	Luminaire Lumens	Luminaire Watts	Total Watts	Mounting Height
F2	6	WDG2 LED P3 40K 80CRI T15	Single	WDG2 LED P3 40K 80CRI T15	F2	1.000	3089	32.1375	192.825	13
D	12	WDG2 LED P3 40K 80CRI T15	Single	WDG2 LED P3 40K 80CRI T15	D	1.000	3147	32.1375	385.65	13
F1	2	WDG2 LED P1 40K 80CRI T15	Single	WDG2 LED P1 40K 80CRI T15	F1	1.000	699	10.8946	21.789	13

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BRANCHED OUT GUTTERS
2309 S BURR OAK CIRCLE
PECULIAR MO 64078

NO.	ISSUE/REVISION	DATE
1	PERMIT SET	04/09/25

SITE PLAN
ES100
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Looking SE from NW corner of the lot



Looking NW from SE corner of the lot



Looking SW from NE corner of the lot



MONTHLY DEPARTMENT REPORT DECEMBER 2025

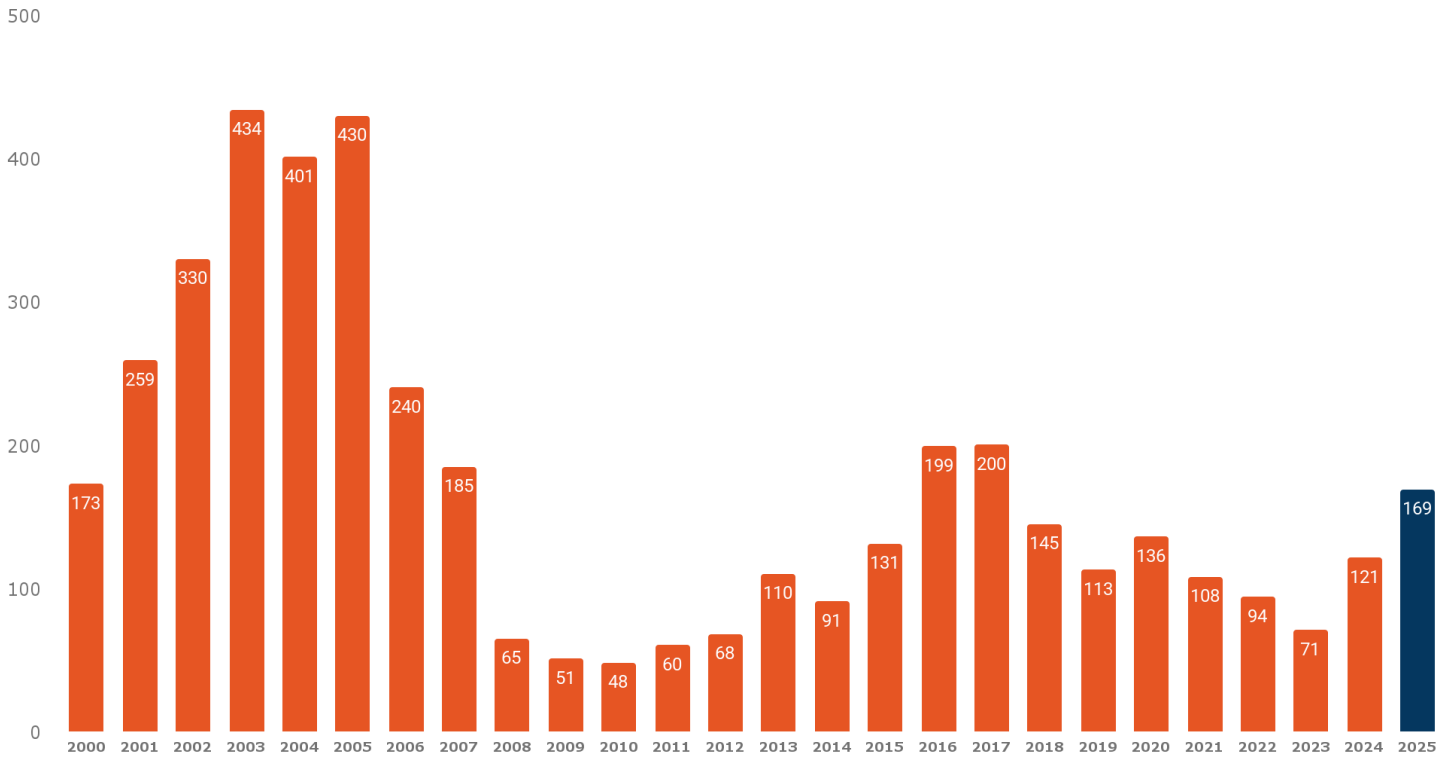
BUILDING PERMIT & INSPECTION ACTIVITY -

TYPE OF PERMIT	DEC 2025	2025 TOTAL	2024 YTD	2024 TOTAL
Detached Single-Family Residential	12	169	121	121
Attached Single-Family Residential	0	0	80	80
Multi-Family Residential (apartment)	0	0	13	13
Miscellaneous Residential (deck; roof)	19	715	733	733
Commercial - New, Additions, Alterations	4	28	35	35
Sign Permits	5	60	70	70
BUILDING INSPECTIONS	DEC 2025	2025 TOTAL	2024 YTD	2024 TOTAL
Total No. of Inspections	291	4,894	4,871	4,871
Residential Inspections	262	3,550	3,107	3,107
Commercial Inspections	29	1,344	1,764	1,764
INVESTMENT	DEC 2025	2025 TOTAL	2024 YTD	2024 TOTAL
Total Residential Permit Valuation	\$7,822,630	\$63,247,710	\$59,015,960	\$59,015,960
Total Commercial Permit Valuation	\$29,331,760	\$98,904,525	\$38,506,341	\$38,506,341

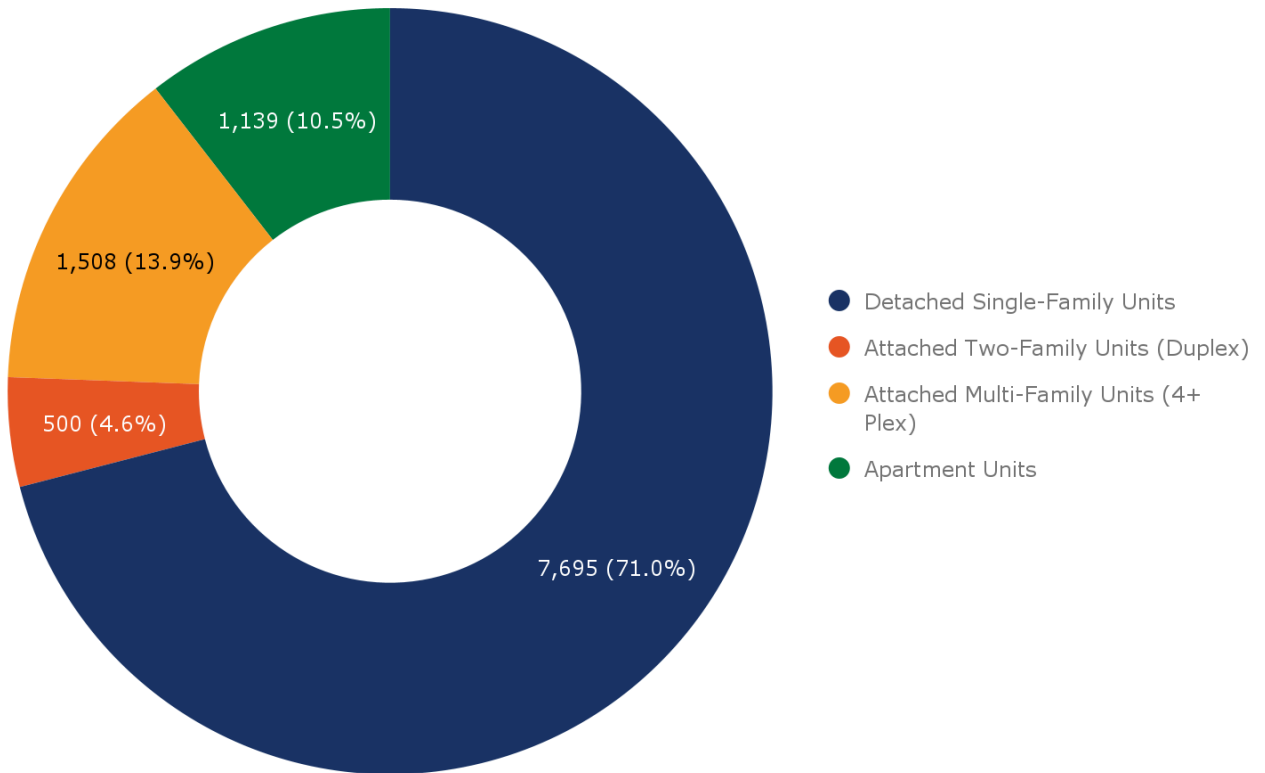
BUILDING CONSTRUCTION ACTIVITY -

- 12 new single-family home permits were issued in the Park Side, Knoll Creek Estates, Eastbrooke at Creekmoor and Cunningham at Creekmoor neighborhoods.
- Building 5 of the Raymore Commerce Center South development obtained their Certificate of Occupancy, allowing the tenant of the building, [Church & Dwight](#), to continue with site tenant improvements.
- Footing and foundation work commenced at Building 4 of the Raymore Commerce Center South development.

Single Family Housing Permit Trends 2000-2025



Existing Housing Unit Inventory



CODE ENFORCEMENT ACTIVITY -

CODE ENFORCEMENT	DEC 2025	2025 TOTAL	2024 YTD	2024 TOTAL
Code Enforcement Cases Opened	43	751	764	764
<i>Notices Mailed</i>				
-Tall Grass/Weeds	0	198	160	160
- Inoperable Vehicles	26	213	257	257
- Junk/Trash/Debris in Yard	3	114	127	127
- Object placed in right-of-way	0	13	11	11
- Parking of vehicles in front yard	6	86	41	41
- Exterior home maintenance	5	54	83	83
- Other (trash at curb early; signs; etc)	0	10	0	0
Properties mowed by City Contractor	0	57	56	56
Abatement of violations (silt fence repaired; trees removed; stagnant pools emptied; debris removed)	1	21	5	5
Signs in right-of-way removed	41	732	670	670
Violations abated by Code Officer	2	41	48	48
Citations Issued	14	154	-	-

ACTIONS OF BOARDS, COMMISSIONS & CITY COUNCIL - DECEMBER

DECEMBER 2, 2025 PLANNING AND ZONING COMMISSION -

- 1012 S. Madison Street Rezoning, A to RE (public hearing), recommended approved

DECEMBER 8, 2025 CITY COUNCIL -

- 1st Reading - 1012 S. Madison Street Rezoning, A to RE (public hearing), approved
- 1st Reading - Good Ranch Tract 12 Rezoning A to BP-P (public hearing), continued to 12/22

DECEMBER 16, 2025 PLANNING AND ZONING COMMISSION -

- Raymore Gateway Lot 2 - 7Brew Proposed Site Plan, denied 5-2

DECEMBER 22, 2025 CITY COUNCIL -

- 1st Reading (cont.) - Good Ranch Tract 12 Rezoning A to BP-P, approved 5-2
- 2nd Reading - 1012 S. Madison Street Rezoning, A to RE, approved
- Resolution 25-54 - 1-year extension to Saddlebrooke Preliminary Plat, approved

TENTATIVE UPCOMING MEETINGS - JANUARY

JANUARY 5, 2026 JOINT CITY COUNCIL & PLANNING AND ZONING COMMISSION WORK SESSION -

- Residential Design Standards & Anti-Monotony Code Review

JANUARY 6, 2026 PLANNING AND ZONING COMMISSION -

- No items currently scheduled

JANUARY 12, 2026 CITY COUNCIL -

- 2nd Reading - Good Ranch Tract 12 Rezoning A to BP-P

JANUARY 20, 2026 PLANNING AND ZONING COMMISSION -

- Branched Out Gutters Site Plan

JANUARY 26, 2026 CITY COUNCIL -

- No items currently scheduled

DECEMBER DEPARTMENT ACTIVITY & EVENTS -

- Development Services Director David Gress met with newly appointed Board of Zoning Adjustment (BZA) members Kara Elgin and Adam Peden. Elgin and Peden were appointed as alternates to the Board by the City Council in November.
- Development Services staff met with the Saddlebrook subdivision development team as the project nears completion of infrastructure work.
- Senior Planner Dave McCumber and Economic Development Director Jordan Lea attended the monthly South KC Planners meeting, hosted at the City of Grandview.
- Economic Development Director Jordan Lea attended the Raymore Chamber of Commerce events committee meeting.
- Economic Development Director Jordan Lea attended the International Economic Development Council's women in development mentorship committee and emerging leaders committee meeting.
- Economic Development Director Jordan Lea attended the Workforce YOU monthly housing and executive committee meetings.
- Development Services Director David Gress, Recreation & Facilities Superintendent Todd Brennon and Economic Development Director Jordan Lea attended the Raymore Chamber of Commerce's holiday social.
- Senior Planner Dave McCumber attended a student project critique hosted by the [UMKC Department of Urban Planning + Design](#).

- Economic Development Director Jordan Lea attended the Missouri Economic Development Council's District 3 fourth quarter event.
- Mayor Kris Turnbow, Development Services Director David Gress and Economic Development Director Jordan Lea attended the Raymore Chamber of Commerce's monthly coffee and conversation event hosted by Country Club Bank.
- Mayor Turnbow, Development Services Director David Gress and Economic Development Director Jordan Lea attended the Raymore Chamber of Commerce's annual board of directors retreat.



- The Development Services department developed a new development activity map where residents can learn more about new and ongoing developments through the City. Staff presented the mapping tool to the City Council at this week's work session meeting.

View the [What's Happening in Raymore](#) development activity map to learn more!

- Economic Development Director Jordan Lea attended the Kansas City Area Development Council's quarterly economic development alliance meeting.